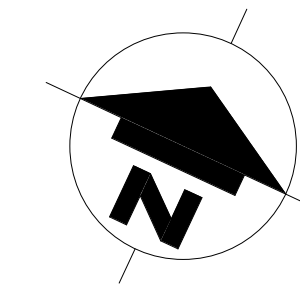


SPRINGBANK LOT 5

ISSUED FOR BUILDING PERMIT



ARCHITECTURAL DRAWING LIST

A01	Title Sheet & Site Plan
A02	General Notes & Assemblies & Window and Door Schedules
A03	Basement Plan & First Floor Plan
A04	Second Floor & Roof Plan
A05	North & South Elevation
A06	East & West Elevation
A07	Building Sections
A08	Details 1
A09	Details 2
A10	Electrical Plans

SYMBOL LEGEND

NORTH ARROW		
GRID LINE REFERENCE		
ELEVATION REFERENCE		
BUILDING SECTION		DETAIL NUMBER DRAWING CONTAINING THIS SECTION
DETAIL SYMBOL		DETAIL NUMBER DRAWING CONTAINING THIS DETAIL
WALL TYPE		
FLOOR TYPE		
DOOR NUMBER		
WINDOW NUMBER		

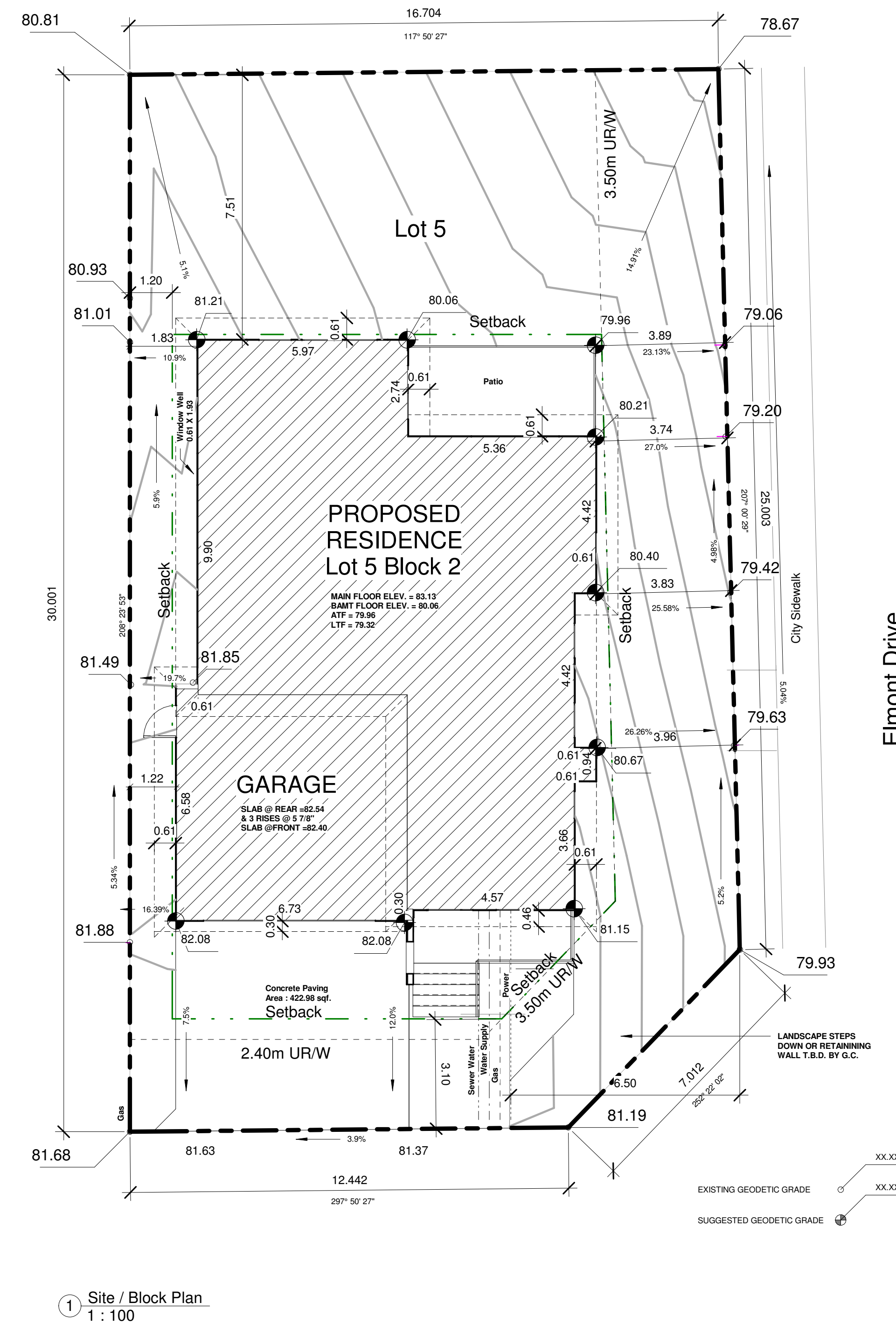
DATE	No.	REVISION	BY

SITE ADDRESS : 6 Elmont Close S.W.
BLOCK 2
LOT 5
PLAN NUMBER 2370 IB

LOT CALCULATIONS: R-1s ZONING
LOT AREA = 499.56 SQ.M. (5377.17 SQ.FT.)

SITE COVERAGE:
MAXIMUM ALLOWED 45% =2419.73 SQ.FT. (224.80 SQ.M.)
PROPOSED = 2037.39 SQ.FT. (189.28 SQ.M.) 37.89%
(INCLUDES MAIN FLOOR, GARAGE, COVERED ENTRY AND REAR DECK)

MAXIMUM BUILDING HEIGHT IS 12.0M,
PROPOSED BUILDING HEIGHT IS 10.7M.



1 Site / Block Plan
1 : 100

PROJECT
Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

CLIENT
Leef Living

PROGRESS	Building Permit		
SCALE	As indicated		
DRAWN	NH	CHECKED	NH
FILE	20240801-1		
DATE	2024-09-07 11:30:41 AM		

Title Sheet & Site Plan
A01

DATE	No.	REVISION	BY

Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

PROJECT

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PROGRESS

Building Permit

SCALE

As indicated

FILE

20240801-1

DATE

2024-09-07 11:30:42 AM

General Notes & Assemblies & Window and Door Schedules

General Notes

- GENERAL**
- Sub-trades shall review drawings and report any discrepancies or omissions to the designer or builder prior to construction.
 - All work shall conform to the 2022 National Building Code.
 - Floor joists, beams and columns to be designed/verified by floor supplier to meet or exceed current building codes.
 - Roof truss system to be designed/verified by truss supplier to meet or exceed current building codes.
 - Do not scale drawings.
 - Written specifications and/or extras to contract are to be checked prior to construction.
 - All fasteners to be U.C approved.
 - Concrete strength to be min. 20 MPa.
- CRIBBING NOTES**
- Foundations to be stepped as required by site conditions.
 - FRAMING NOTES
 - Dimensions shown on drawings are to face of member or exterior wall face unless shown otherwise.
 - All trusses to be R2 SPP or better or as otherwise noted or required by Building Code.
 - All truss areas to be 2x10 R2 SPP or better or as otherwise noted or required by Building Code.
 - The width of a wood column shall not be less than the width of the supported member.
 - Tube decks are framed at 12" unless otherwise noted on plans.
 - Bearing walls to be sheathed on one side.
 - A gap of not less than 2mm shall be left between sheets of plywood, OSB, waferboard or fibreglass sheathing.
 - Provide blocking where required for all building furniture and accessories.
 - Where fire stops are penetrated by pipes, ducts or other elements, the integrity of the fire stops shall be maintained around such elements.
 - STAIR NOTES
 - Pre-manufactured stairs c/w 9.5" min. runs w/ 1" nosing; 5" to 7" R2 rise (or as noted on plans).
 - Treads and riser shall be uniform as required by Building Code.
 - On-site measurements required prior to fabrication.
 - EXTERIOR FINISH NOTES
 - Flashing shall be provided above all exterior doors and windows, batters, and service penetrations.
 - Wall sheathing membrane shall be lapped a minimum of 4". Upper sheets shall overlap lower sheets.
 - Garage door jamb to be Smartboard trimmed w/ 4" Smartboard brickmould (or as per plan).
 - All exterior doors to have a Smartboard kick between the sill and the porchback floor or deck nailer below.
 - Where there is no porch, deck or nailer below the door, a 4" minimum Smartboard kick is required.
 - FLASHING
 - Flashing shall consist of not less than 1.73 mm thick sheet lead, 0.33 mm thick galvanized steel, 0.46 mm thick copper, 0.46 mm thick zinc, 0.48 mm thick aluminum, or 0.02 mm thick vinyl.
 - Flashing shall be installed at every horizontal junction between 2 different exterior finishes, except where the upper finish overlaps the lower finish.
 - Flashing shall be applied over exterior wall openings where the vertical distance from the bottom of the eave to the top of the trim is more than one-quarter of the horizontal overhang of the eave.
 - Flashing shall be installed so that it extends upwards not less than 50 mm behind the sheathing paper and forms a drip on the outside edge.
 - Where a window or exterior door is designed to be installed without head flashing, the exterior flange of the window or door frame shall be lapped into a non-hardening caulking material and the exterior flange screwed down over the caulking material to the wall framing to form a waterproof joint.
 - CAULKING
 - Caulking shall be provided where required to prevent the entry of water into the structure.
 - Caulking shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are explicitly protected from the entry of rain.
 - Caulking shall be provided at vertical joints between different cladding materials unless the joint is suitably taped or flashed to prevent the entry of rain.
 - Caulking shall be a non-hardening type suitable for exterior use, selected for its ability to resist the effects of weathering, and compatible with and adhere to the substrate to which it is applied.
 - Caulking materials shall conform to the ABC 2023.
 - MECHANICAL NOTES
 - Location of utilities subject to change depending on site conditions.
 - Location of furnace and hot water heater may change subject to mechanical contractor's layout.
 - ELECTRICAL NOTES
 - Electrical panel is to be located on same side as underground electrical service or as per plan.
 - Electrician to block receptacles to clear 3" casings.
 - All pot lamps 0" unless noted otherwise.
 - GRADING NOTES
 - Lot grading as per approved plot plan and municipal lot grading requirements.
 - Final lot grades may alter appearance of elevations.
 - WINDOW AND EXTERIOR DOOR NOTES
 - Verify frame sizes and rough openings with window manufacturer to confirm size, location and type of windows and exterior doors with owner prior to construction.
 - All glazing shall be clear unless otherwise noted on plans.
 - Provide screens on all operable windows.
 - Provide shop drawings of windows to designer or builder for approval before ordering.
 - Glaze to match elevation submitted for approval.
 - All glazing in exterior doors shall be tempered glass.
 - INTERIOR DOOR NOTES
 - Verify frame opening with manufacturer and field verify all rough openings.
 - Verify all door hardware with owner prior to ordering.

Window schedule

Window Schedule					
Mark	Level	Width	Height	Comments	
Basement Floor					
W01	Basement Floor	5' - 0"	2' - 6"		
W02	Basement Floor	5' - 0"	5' - 0"		
W03	Basement Floor	5' - 0"	2' - 6"		
W04	Basement Floor	3' - 0"	6' - 0"		
W05	Basement Floor	3' - 0"	6' - 0"		
First Floor					
W06	First Floor	3' - 3"	6' - 0"		
W07	First Floor	3' - 0"	6' - 0"		
W08	First Floor	6' - 0"	2' - 6"		
W09	First Floor	3' - 0"	6' - 0"		
W10	First Floor	3' - 0"	6' - 0"		
W11	First Floor	3' - 0"	6' - 0"		
W12	First Floor	3' - 0"	3' - 4"		
W13	First Floor	2' - 6"	6' - 0"		
W14	First Floor	2' - 6"	6' - 0"		
W15	First Floor	3' - 3"	6' - 0"		
Second Floor					
W16	Second Floor	6' - 0"	2' - 6"		
W17	Second Floor	5' - 0"	6' - 0"		
W18	Second Floor	5' - 0"	5' - 0"		
W19	Second Floor	1' - 8"	5' - 0"		
W20	Second Floor	1' - 8"	5' - 0"		
W21	Second Floor	4' - 0"	4' - 0"		
W22	Second Floor	4' - 0"	4' - 0"		
W23	Second Floor	7' - 0"	5' - 0"		
W24	Second Floor	2' - 0"	5' - 0"		
W25	Second Floor	6' - 3"	2' - 6"		
W26	Second Floor	2' - 6"	6' - 0"		
W27	Second Floor	2' - 6"	6' - 0"		
W28	Second Floor	3' - 3"	6' - 0"		
W29	Second Floor	3' - 3"	2' - 6"		
W30	Second Floor	6' - 3"	6' - 0"		
W31	Second Floor	2' - 0"	5' - 0"		

Door schedule

Exterior Door Schedule					
Mark	Level	Width	Height	Comments	
Basement Floor					
D002	Basement Floor	5' - 0"	7' - 0"		Exterior Door
Garage Slab					
D109	Garage Slab	3' - 0"	7' - 0"		Exterior Door
First Floor					
D110	First Floor	5' - 0"	8' - 0"		Exterior Door
Door Schedule					
Mark	Level	Width	Height	Comments	
Basement Floor					
D001	Basement Floor	3' - 0"	6' - 8"		
First Floor					
D105	First Floor	2' - 10"	8' - 0"		
D108	First Floor	2' - 6"	8' - 0"		
D107	First Floor	2' - 6"	8' - 0"		
D106	First Floor	4' - 0"	8' - 0"		
D103	First Floor	2' - 6"	7' - 0"		
D101	First Floor	3' - 0"	8' - 0"		
D102	First Floor	4' - 0"	8' - 0"		
D104	First Floor	2' - 6"	8' - 0"		
D214	First Floor	2' - 6"	7' - 0"		
Second Floor					
D201	Second Floor	4' - 0"	6' - 8"		
D204	Second Floor	2' - 4"	6' - 8"		
D203	Second Floor	2' - 6"	6' - 8"		
D206	Second Floor	4' - 0"	6' - 8"		
D210	Second Floor	2' - 8"	6' - 8"		
D202	Second Floor	4' - 0"	6' - 8"		
D213	Second Floor	2' - 6"	6' - 8"		
D212	Second Floor	2' - 6"	6' - 8"		
D208	Second Floor	4' - 0"	6' - 8"		
D205	Second Floor	2' - 6"	6' - 8"		
D211	Second Floor	2' - 6"	6' - 8"		
D207	Second Floor	2' - 8"	6' - 8"		
D209	Second Floor	2' - 8"	6' - 8"		

Assemblies

WALL TYPES

- W1 FOUNDATION / BASEMENT WALL - 4hr FRR**
- smooth parging above grade
 - water proofing/dampproofing below grade / top of footing
 - 20" x 8" concrete strip footing
 - air space
 - 2x4 studs @ 24" o.c.
 - R22 fiberglass batt insulation
 - 6mil (0.15mm) poly continuous air and vapour barrier (warm side of stud)
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - interior finish
- W1a FOUNDATION / GARAGE - 4hr FRR**
- smooth parging above grade
 - 8" satecast concrete on dampproofing capillary break
 - 20" x 8" concrete strip footing
- W2 2x6 EXTERIOR WALL - TYPICAL**
- exterior finish (as per elevation drawings) as per manufacturers' specifications
 - 1 ply building paper, 30 min. or equiv. weather barrier (bond break)
 - 1 ply TVYVK HomeWrap air barrier installed as per manufacturer's specifications
 - 3/8" plywood or OSB sheathing (fire resistant OSB as per AFC 5.6.1.2)
 - 2x6 wood studs spaced as per Stud Spacing Table
 - R22 batt insulation min.
 - 6mil (0.15mm) poly continuous air and vapour barrier (warm side of stud)
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - interior finish
- W3 2x4 INTERIOR PARTITION WALL - TYPICAL**
- interior finish
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - 2x4 wood studs @ 24" o.c. (unless otherwise noted)
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - interior finish
- W3a 2x6 INTERIOR PARTITION WALL - TYPICAL**
- interior finish
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - 2x6 wood studs @ 24" o.c. (unless otherwise noted)
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - interior finish
- W3b 2x6 GARAGE PARTITION WALL - TYPICAL**
- interior finish
 - 1/2" standard gypsum board taped, filled & sanded for painting
 - 2x6 wood studs
 - R22 batt insulation min.
 - 6mil (0.15mm) poly continuous air and vapour barrier (warm side of stud)
 - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
 - interior finish

ROOF TYPES

- R1 TRUSS ROOF (< 4:12) - TYPICAL**
- asphalt shingles as per manuf. specs
 - roofing felt as req'd
 - 3/4" plywood or OSB sheathing
 - engineered roof trusses, as per supplier
 - min. R40 loose fill or fiberglass batt insulation
 - 6mil (0.15mm) poly air & vapour barrier
 - 1/2" controlled density gypsum board: taped, filled, & sanded
 - interior finish
 - vented wood soffit as per builder's specs
- R2 CANOPY (< 4:12) - TYPICAL**
- low-slope asphalt shingles as per manuf. specs
 - roofing felt as req'd
 - 3/4" plywood or OSB sheathing
 - 2 X 6 wood frame @ 16" O.C
 - vented wood soffit as per builder's specifications

FLOOR TYPES

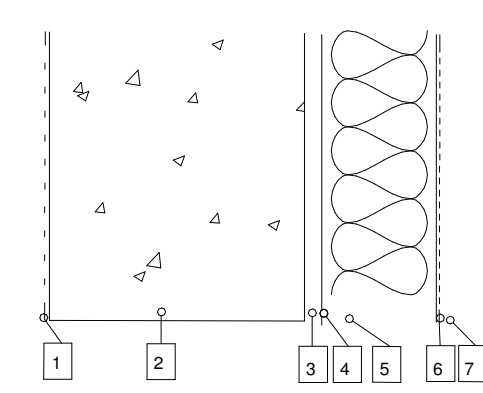
- F1 FLOOR - TYPICAL**
- finish flooring
 - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
 - engineered floor joists (as per supplier's layout)
 - 1/2" controlled density gypsum board: taped, filled & sanded
 - 3" med. density R20 Type II spray foam insulation around perimeter rimboards
 - interior finish
- F2 UNINSULATED SLAB - GARAGE**
- 4" satecast concrete
 - 10mm rebar @24" both ways
 - 6mil (0.15mm) poly air & vapour barrier
 - 5" compacted gravel
- F3 INSULATED SLAB - TYPICAL**
- 4" satecast concrete
 - 10mm rebar @24" both ways
 - 6mil (0.15mm) poly air & vapour barrier
 - 2" rigid insulation
 - min. 5" compacted gravel
- F4 CANTILEVERED FLOOR - TYPICAL**
- finish flooring
 - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
 - engineered floor joists (as per supplier's layout)
 - min. R28 Type II spray foam insulation
 - 1/2" controlled density gypsum board: taped, filled & sanded
- F4a FLOOR OVER UNHEATED SPACE (GARAGE)**
- finish flooring
 - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
 - engineered floor joists (as per supplier's layout)
 - min. R28 batt insulation (in hot box)
 - 2 layers 5/8" type "X" gypsum board
- F5 DECK - TYPICAL**
- deck board
 - 9" deck joist refer to structure

NBC (AE) 2019(9.36)

CLIMATE ZONE	7A - 5000 DEGREE DAYS
WALL INSULATION	2.97
ATTIC INSULATION	6.67
FOUNDATION INSULATION	2.98
FLOOR ABOVE UNHEATED SPACE	5.02
FLOOR ABOVE UNHEATED SPACE- GARAGE	4.86
UNHEATED FLOOR ABOVE FROST LINE	1.96

W1 - FOUNDATION WALL UP TO MAX. 24" FROM GRADE

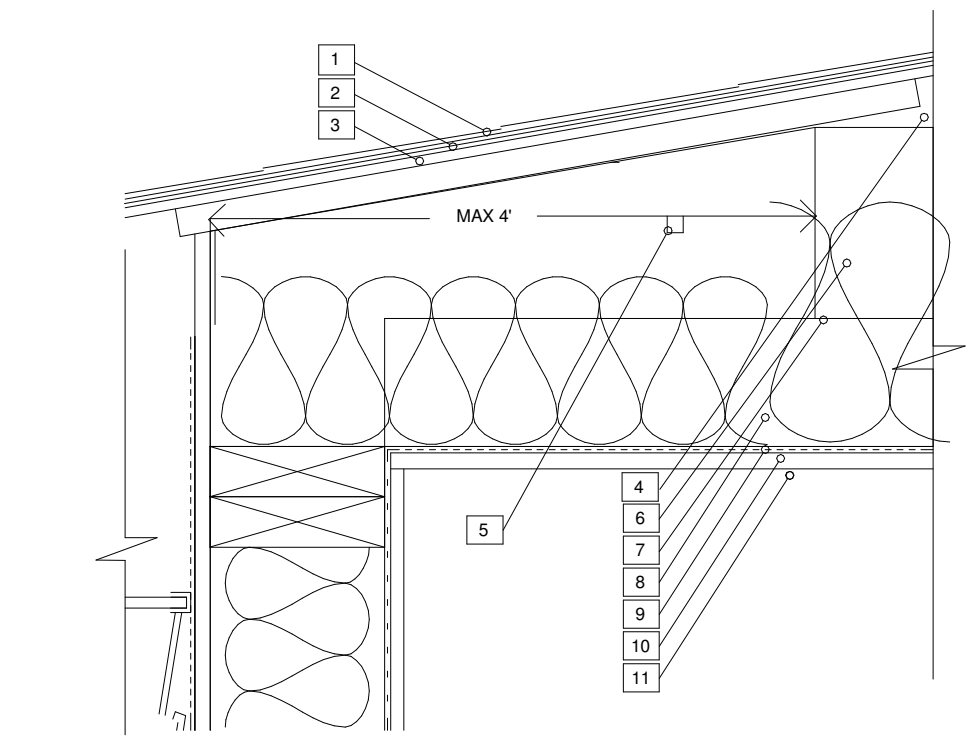
COMPONENT	FRAME/CAVITY RSI	RSI eff
1 DAMPPROOFING	-	-
2 8" CONCRETE WALL	-	0.08
3 1" AIR SPACE	-	0.18
4 2X4 FRAMING, 24" OC	100	2.70
5 R22 FIBER GLASS BATT INSULATION	(131.19)+(870.34)	-
6 POLYTHENE SHEET	-	-
7 INTERIOR AIR FILM	-	0.12
TOTAL EFFECTIVE RSI		3.08
REQUIRED BY ABC 9.36.2.8B RSI		2.98



R1 - CEILING BELOW ATTIC

COMPONENT	FRAME/CAVITY RSI	RSI eff
1 ASPHALT SHINGLES	-	-
2 ROOFING FELT	-	-
3 3/8" OSB SHEATHING	-	-
4 OUT SIDE AIR FILM	-	0.03
5 MIN. RSI BLOW IN INSULATION FOR MAX.48" FROM EXTERIOR OF WALL	-	-
6 15" BLOW IN INSULATION (FIBERGLASS)	-	7.14
7 2X4" ENGINEERING TRUSS @24" OC	100	1.48
8 3.5" BLOW IN INSULATION (FIBERGLASS)	(110.76)+(891.67)	-
9 POLYTHENE SHEET	-	-
10 1/2" GYPSUM BOARD	-	0.08
11 INTERIOR AIR FILM	-	0.11
TOTAL EFFECTIVE RSI		8.84
REQUIRED BY ABC 9.36.2.8B RSI		8.67

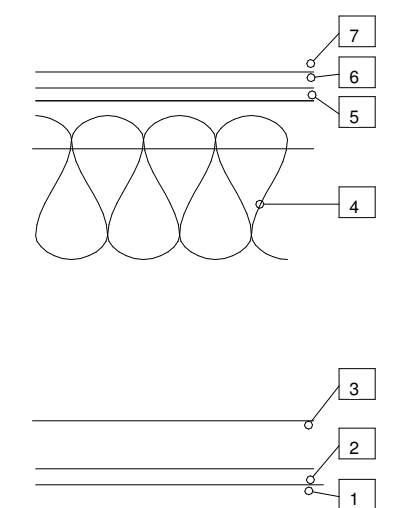
** F.B.BLOW IN INSULATION CAN BE REPLACED WITH CELLULOSE BLOW IN INSULATION 3.5" FOR CAVITY (BETWEEN TRUSSES) AND 10.5" ABOVE CAVITY.



F4a - FLOOR OVER UNHEATED SPACE (GARAGE)

COMPONENT	FRAME/CAVITY RSI	RSI eff
1 EXTERIOR AIR FILM	-	0.03
2 2 LAYERS 5/8" TYPE "X" GYPSUM BOARD	-	0.20
3 JOIST, 19" OC	100	4.53
4 R 28 BATT INSULATION (IN HOT BOX)	(102.63)+(904.93)	-
5 3/4" OSB SHEATHING	-	0.186
6 FLOOR FINISH	-	-
7 INTERIOR AIR FILM	-	0.16
TOTAL EFFECTIVE RSI		4.98
REQUIRED BY ABC 9.36.2.8B RSI AFTER REDUCTION OF 0.16 (ABC 9.36.2.4)		4.86

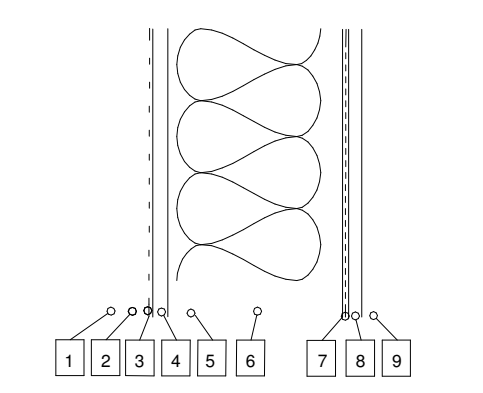
4 R 28 INSULATION CAN BE REPLACED BY LIGHT DEN. SPRAY FOAM (7.5:5.56)+(92.5:5.20)=4.83 GIVES TOTAL EFF. RSI 5.28



GAS FIRED FURNACE	92% AFUE	HEATING=65.9 KW	CAN/CSA-P.2
NATURAL GAS TANK	67% EF	INPUT=22 KW	CAN/CSA-P.3
FRW	NA		
HRV EFFICIENCY	70%		

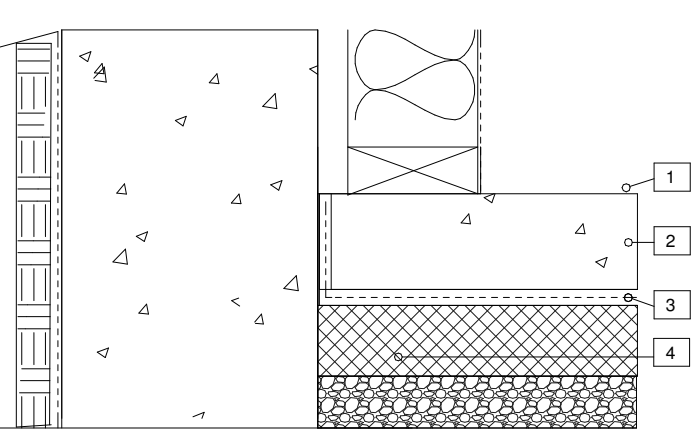
W2 EXTERIOR ABOVE GRADE WALL

COMPONENT	FRAME/CAVITY RSI	RSI eff
1 EXTERIOR AIR FILM	-	0.03
2 VINYL SIDING	-	0.11
3 SHEATHING PAPER	-	-
4 3/8" OSB SHEATHING	-	0.093
5 2X6 FRAMING, 24" OC	100	2.67
6 R22 FIBER GLASS BATT INSULATION	(201.19)+(803.87)	-
7 POLYTHENE SHEET	-	0.08
8 1/2 GYPSUM BOARD	-	0.12
9 INTERIOR AIR FILM	-	0.16
TOTAL EFFECTIVE RSI		3.01
REQUIRED BY ABC 9.36.2.8B RSI		2.97



F3 - UNHEATED FLOOR BELOW GRADE

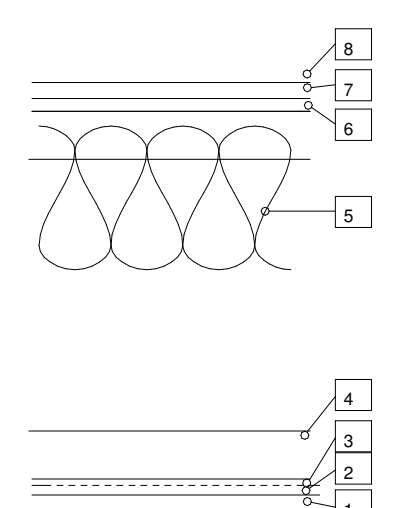
COMPONENT	RSI eff
1 MIN. RSI EXTRUDED POLYSTYRENE (XPS)	2.2
2 POLYTHENE SHEET	-
3 4" CONCRETE FLOOR	-
4 INTERIOR AIR FILM	-
TOTAL EFFECTIVE RSI	2.2
REQUIRED BY ABC 9.36.2.8B RSI	1.96



F4 - FLOOR OVER UNHEATED SPACE (CANTILEVER)

COMPONENT	FRAME/CAVITY RSI	RSI eff
1 EXTERIOR AIR FILM	-	0.03
2 NON VENTED ALUMINUM SOFFIT	-	-
3 SHEATHING PAPER	-	-
4 1 JOIST, 19" OC	100	5.03
5 R31 BATT INSULATION	(7.5:2.56)+(92.5:5.46)	0.186
6 3/4" OSB SHEATHING	-	0.186
7 FLOOR FINISH	-	-
8 INTERIOR AIR FILM	-	0.16
TOTAL EFFECTIVE RSI		5.41
REQUIRED BY ABC 9.36.2.8B RSI		5.02

5 R 31 INSULATION CAN BE REPLACED BY 9" LIGHT DENSITY SPRAY FOAM (100)(7.56:2.56)+(92.5:5.28)=4.88 GIVES TOTAL EFF. RSI 5.27



RM - RIM JOIST SPACE

COMPONENT	FRAME/CAVITY RSI	RSI eff
1 EXTERIOR AIR FILM	-	0

DATE	No.	REVISION	BY

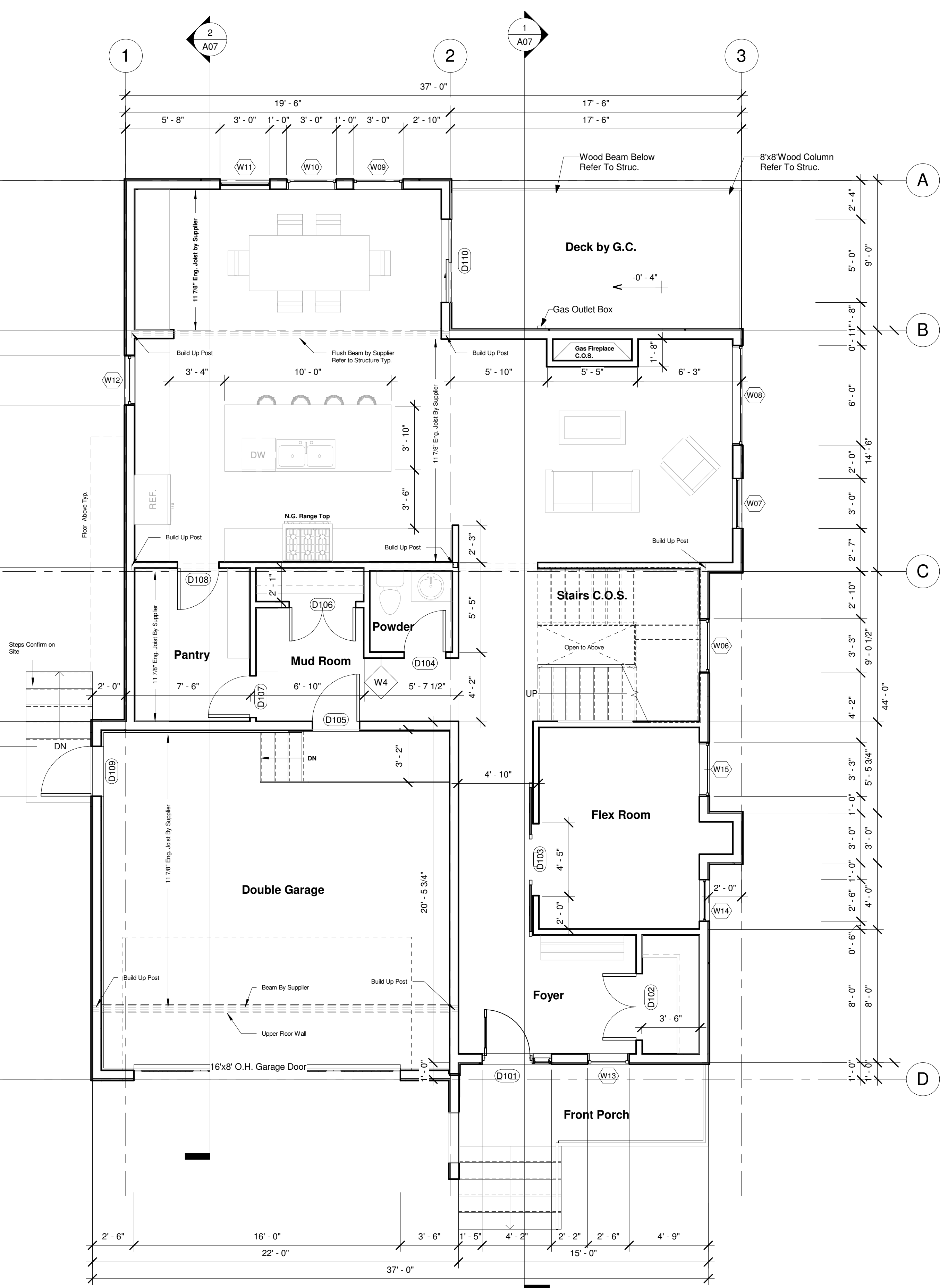
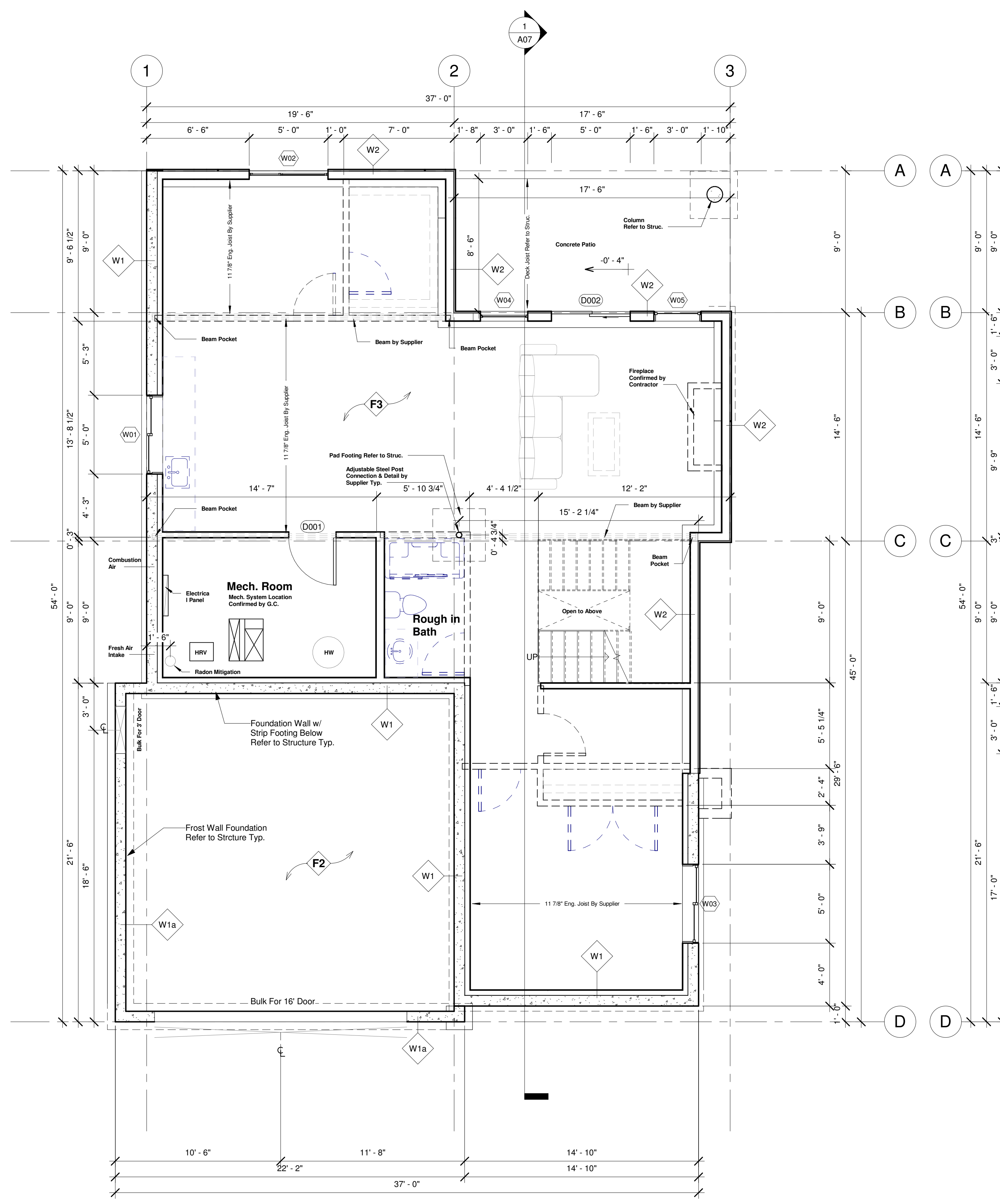
PROJECT
Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

CLIENT
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PROGRESS	Building Permit		
SCALE	1/4" = 1'-0"		
DRAWN	Author	CHECKED	Checker
FILE	20240801-1		
DATE	2024-09-07 11:30:43 AM		

**Basement Plan &
First Floor Plan**
A03



Notes
1. Exterior Wall Assembly Is W2 Unless Otherwise Noted
2. Interior Wall Assembly Is W3 Unless Otherwise Noted

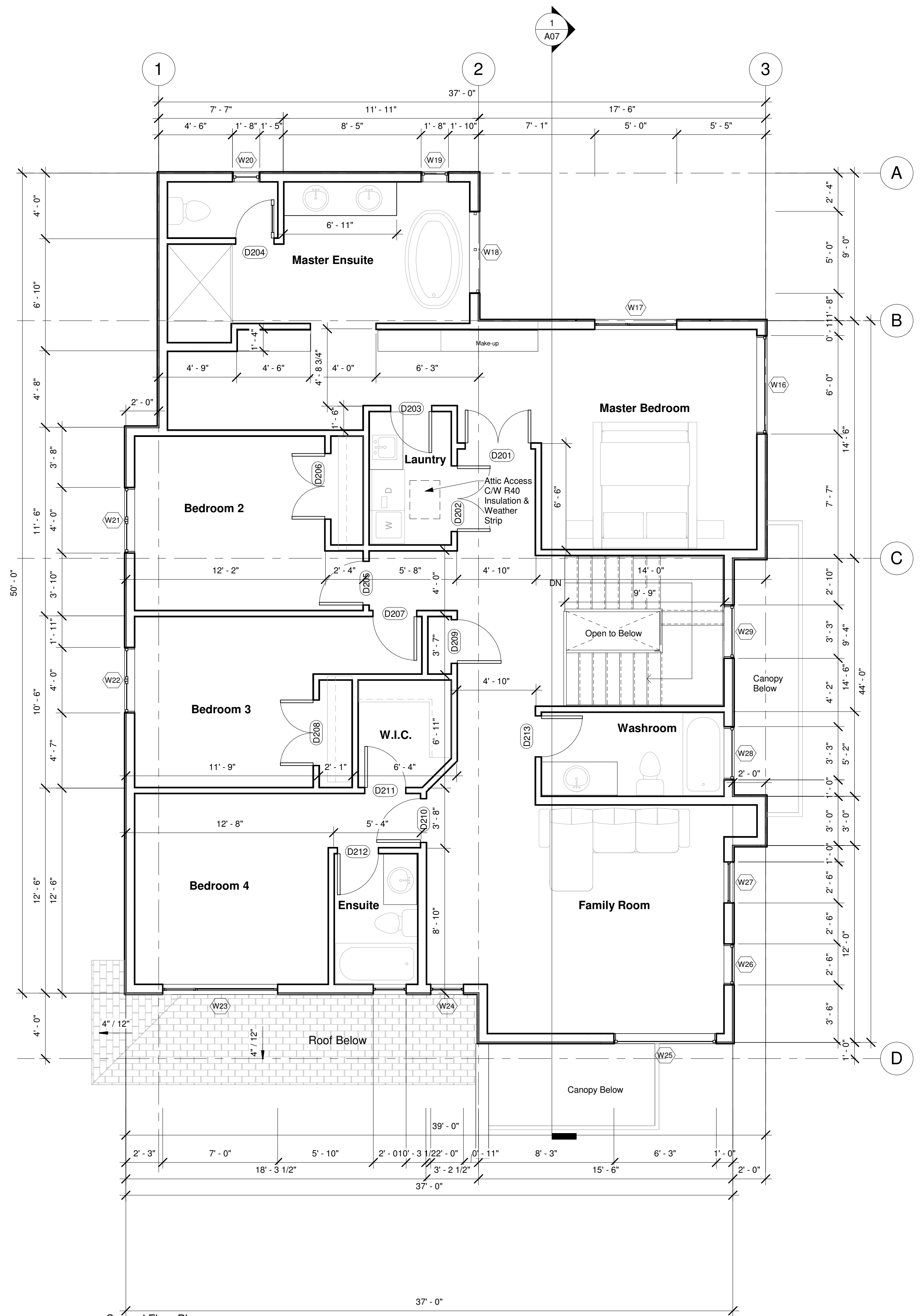
DATE	No.	REVISION	BY

PROJECT
Springbank Lot 5
 6 Elmont Close S.W., Calgary, AB

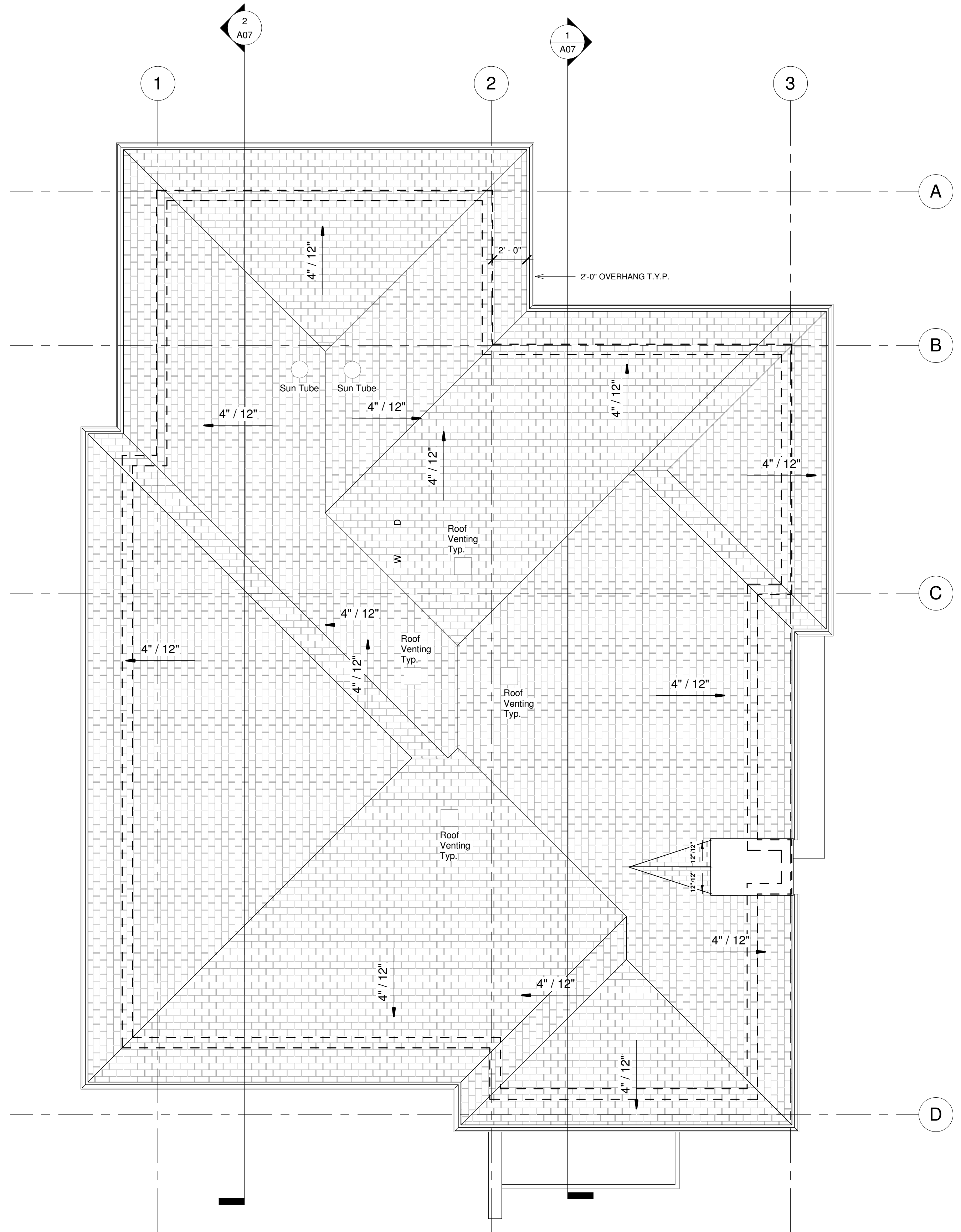
CLIENT
 Leef Living

PROGRESS	Building Permit		
SCALE	1/4" = 1'-0"		
DRAWN	NH	CHECKED	NH
FILE	20240801-1		
DATE	2024-09-07 11:30:43 AM		

Second Floor & Roof Plan
 A04



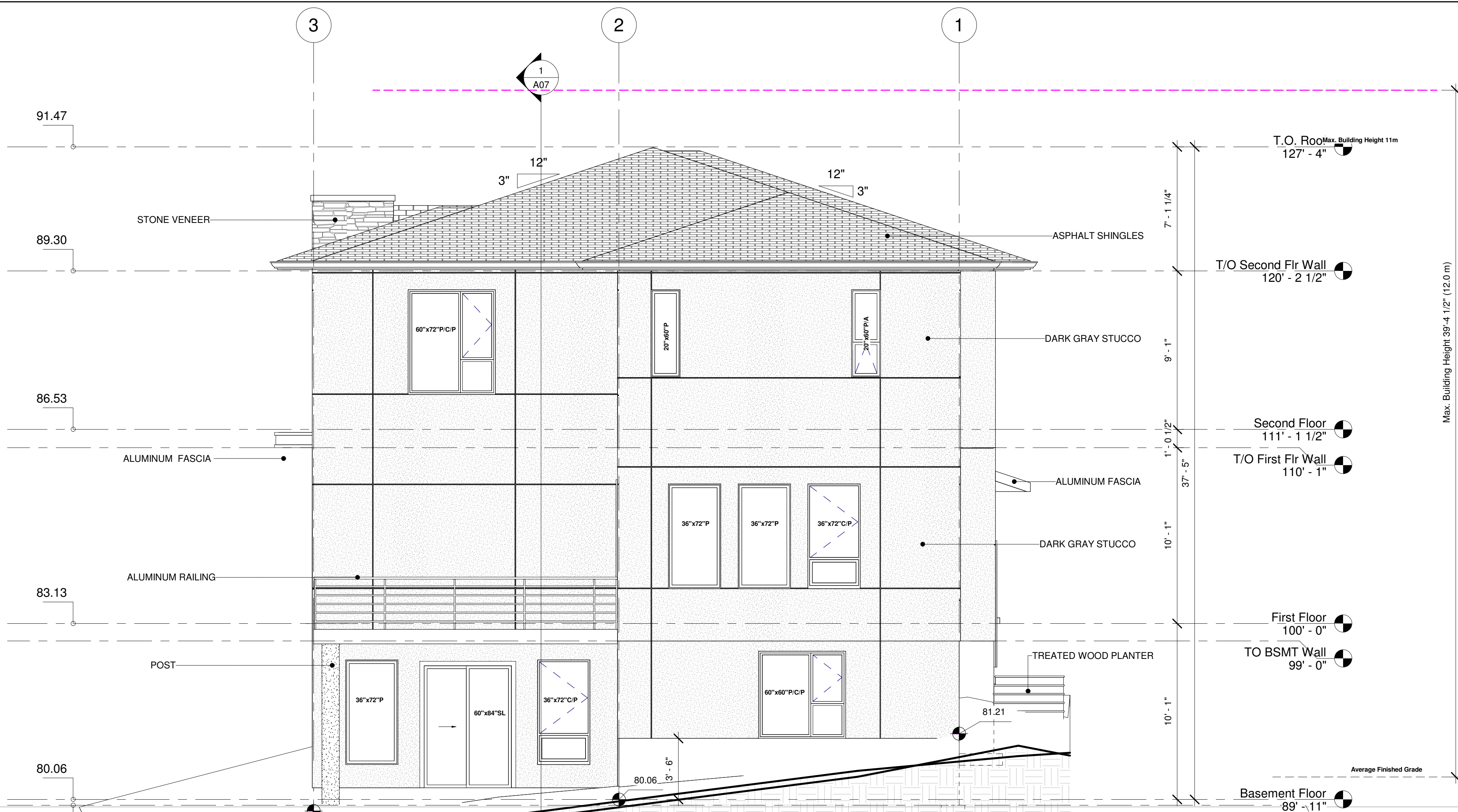
1 Second Floor Plan
 1/4" = 1'-0" Area: 1746.23 sqf (162.23 m²)



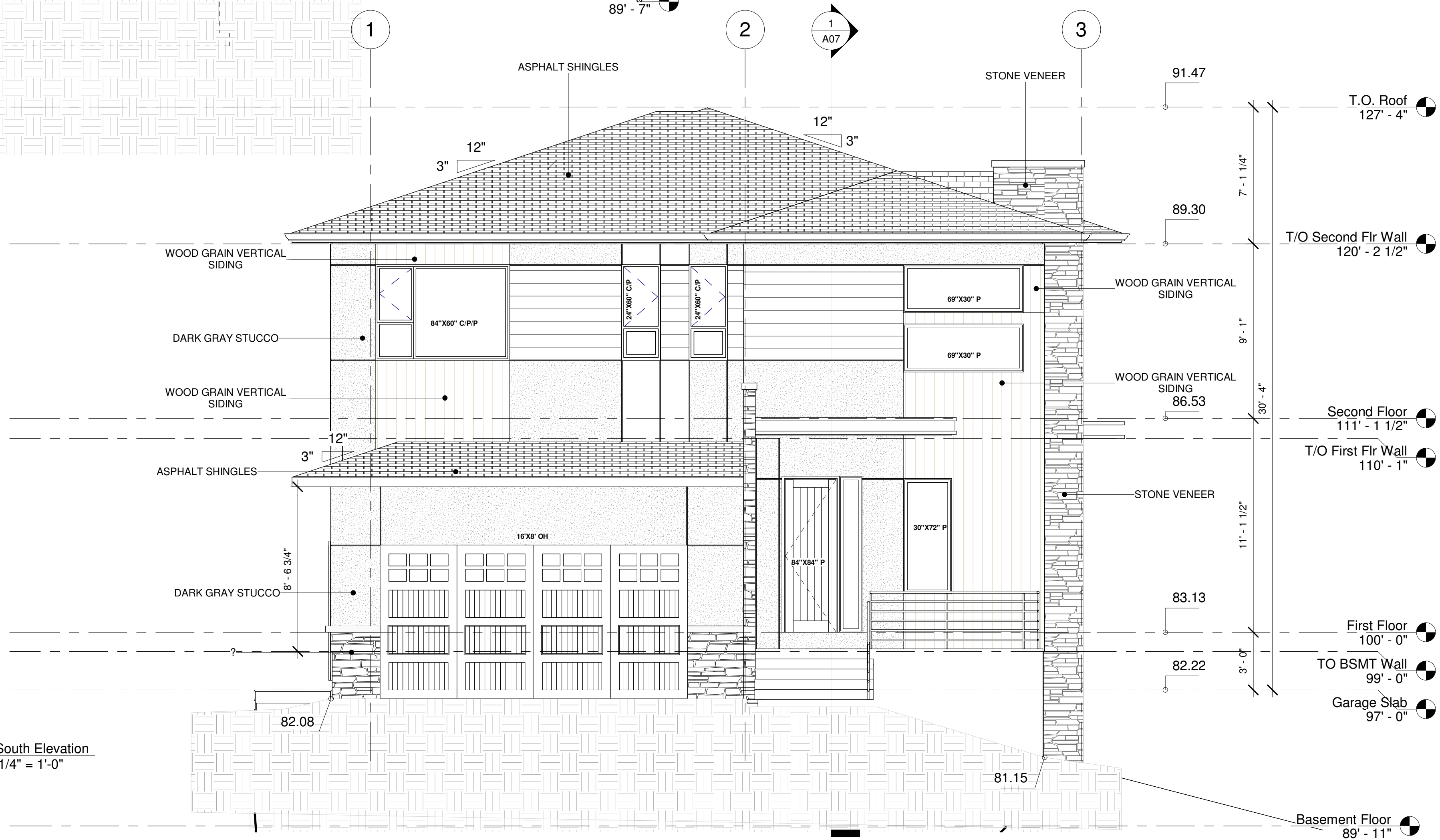
2 Roof Plan
 1/4" = 1'-0"

Note
 Roof Area :
 Upper= 2340.92 SQ.F(217.47 SQ.M)
 Lower=102.31SQ.F(9.5 SQ.M)
 Total: 2443.23 SQ.F(226.97 SQ.M)

DATE	No.	REVISION	BY



1 North Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"

PROJECT
Springbank Lot 5

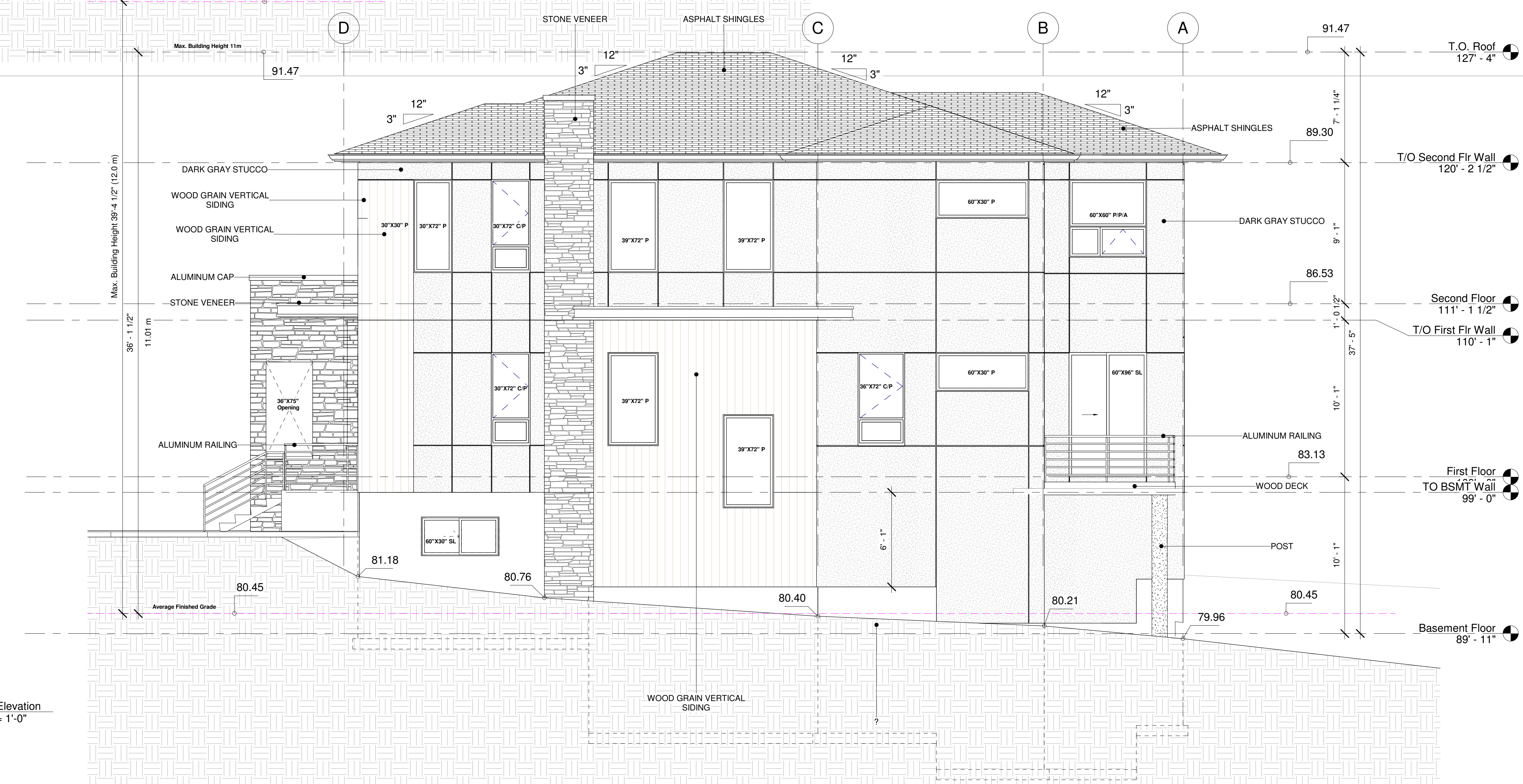
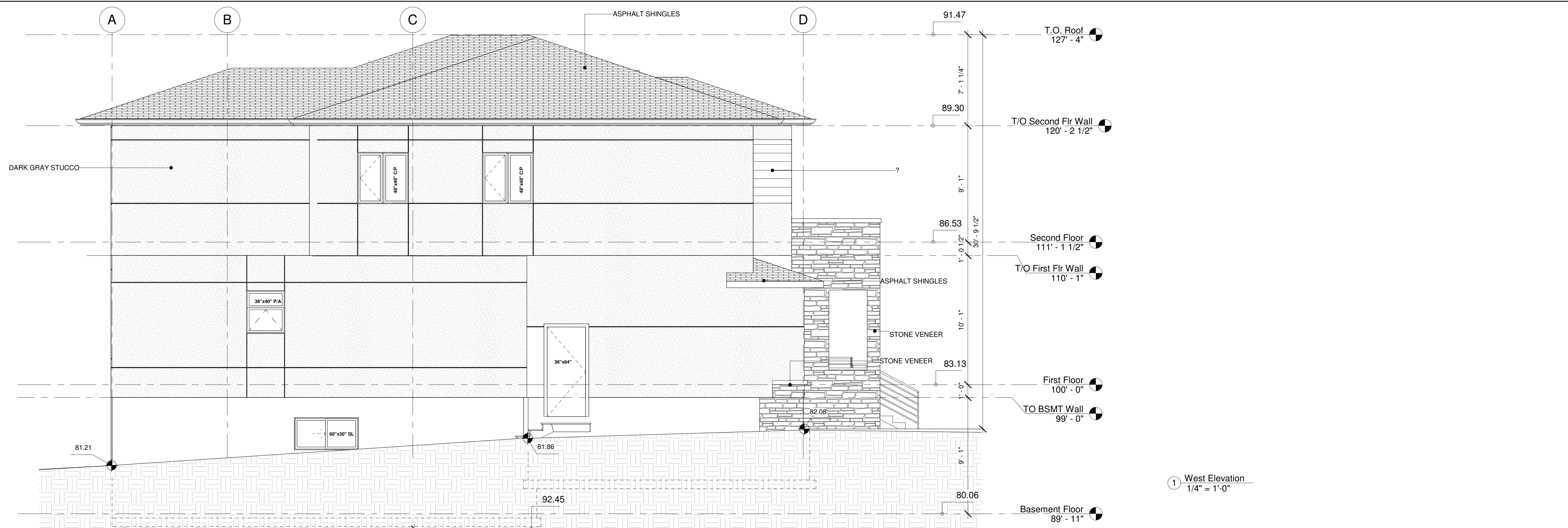
6 Elmont Close S.W., Calgary, AB

CLIENT
Leef Living

PROGRESS	Building Permit		
SCALE	1/4" = 1'-0"		
DRAWN	Author	CHECKED	Checker
FILE	20240801-1		
DATE	2024-09-07 11:30:45 AM		

North & South
Elevation
A05

DATE	No.	REVISION	BY



LIMITING DISTANCE: 7.62M
 OPENING LIMITS: 100%
 WALL AREA 239.8 SQ.FT (22.28 SQ.M)

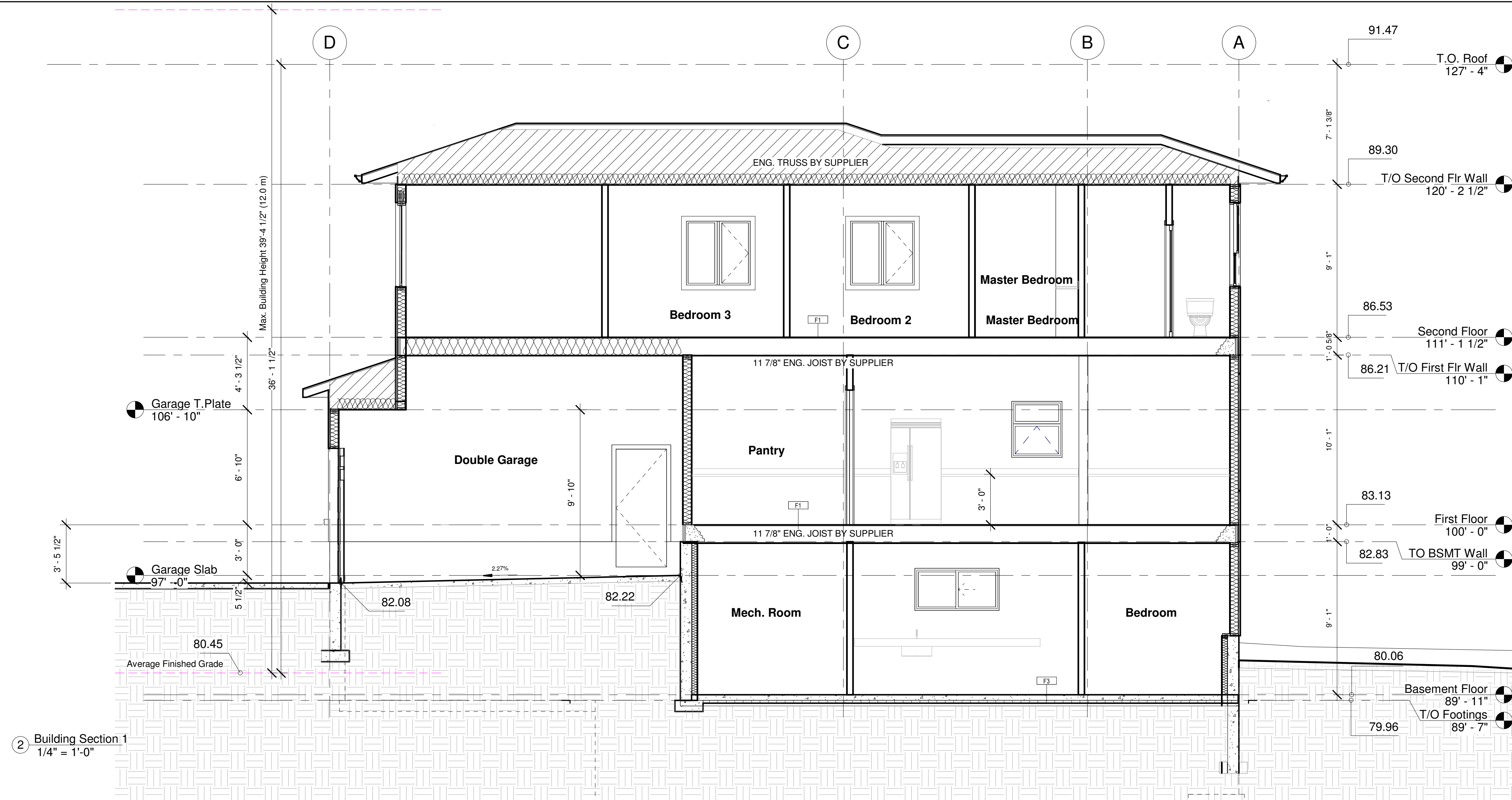
PROJECT
Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

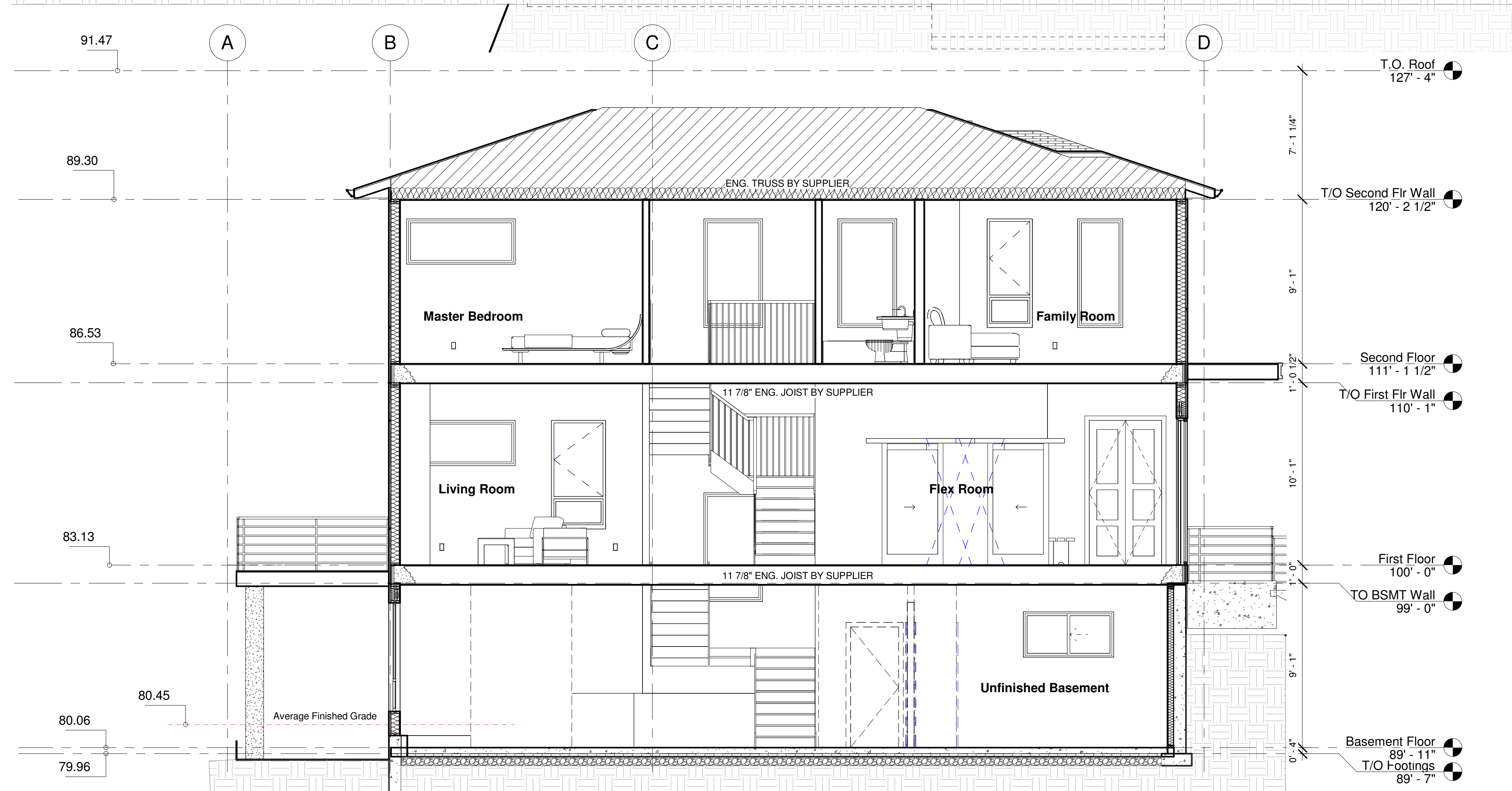
CLIENT
 Leef Living

PROGRESS	Building Permit
SCALE	1/4" = 1'-0"
DRAWN	Author
FILE	20240801-1
DATE	2024-09-07 11:30:46 AM

East & West
 Elevation
 A06



② Building Section 1
1/4" = 1'-0"



① Building Section 2
1/4" = 1'-0"

DATE	No.	REVISION	BY

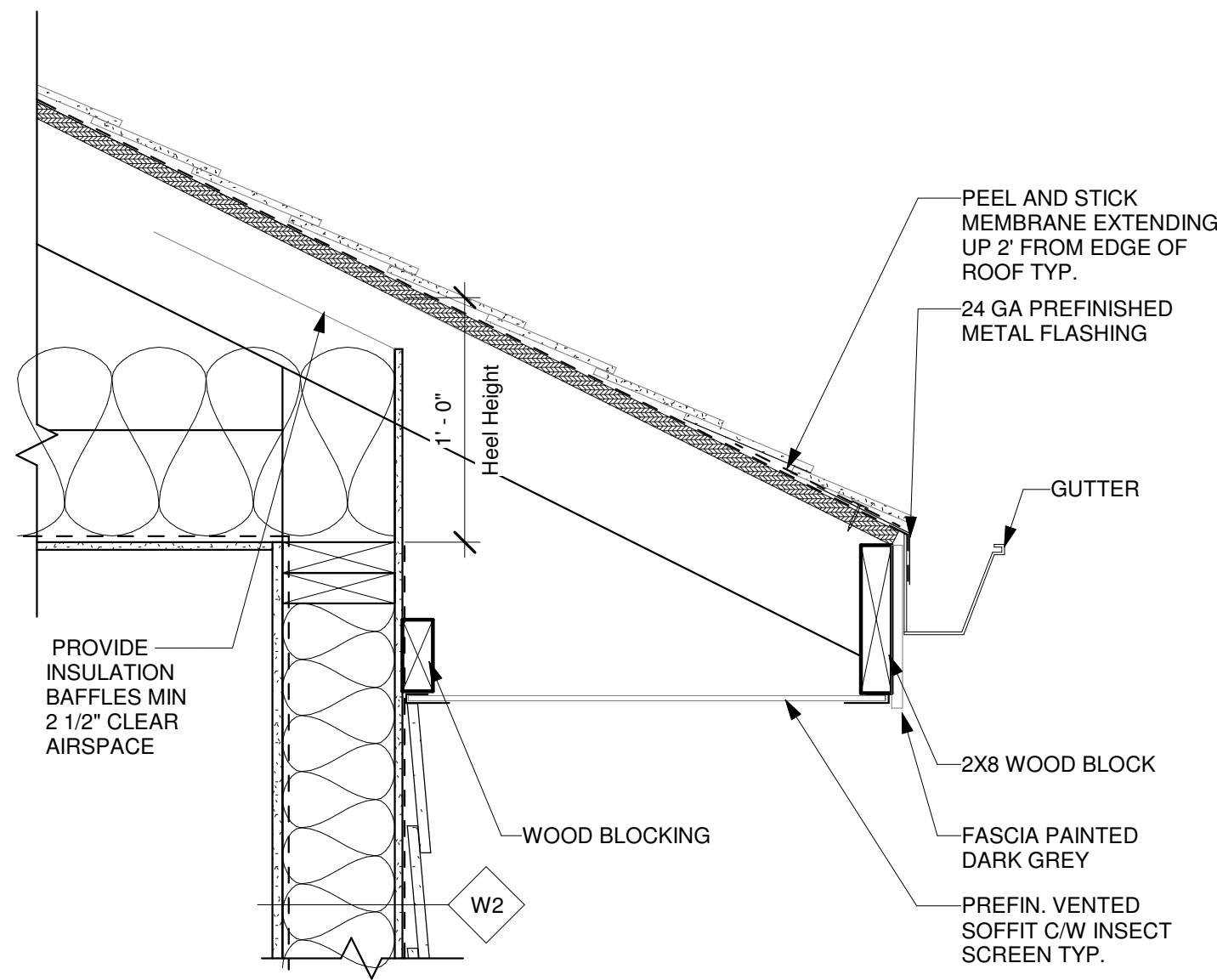
PROJECT
Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

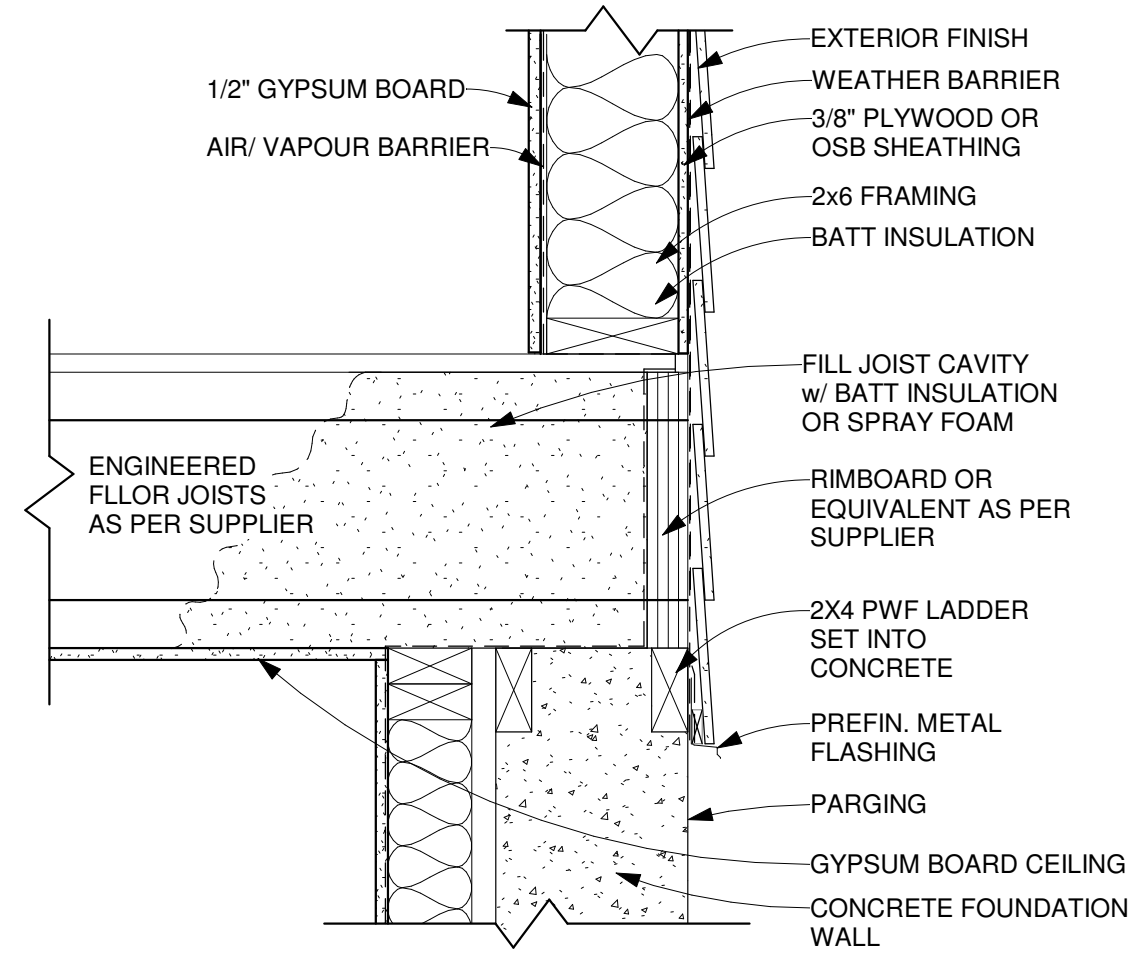
CLIENT
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PROGRESS	Building Permit		
SCALE	1/4" = 1'-0"		
DRAWN	Author	CHECKED	Checker
FILE	20240801-1		
DATE	2024-09-07 11:30:47 AM		

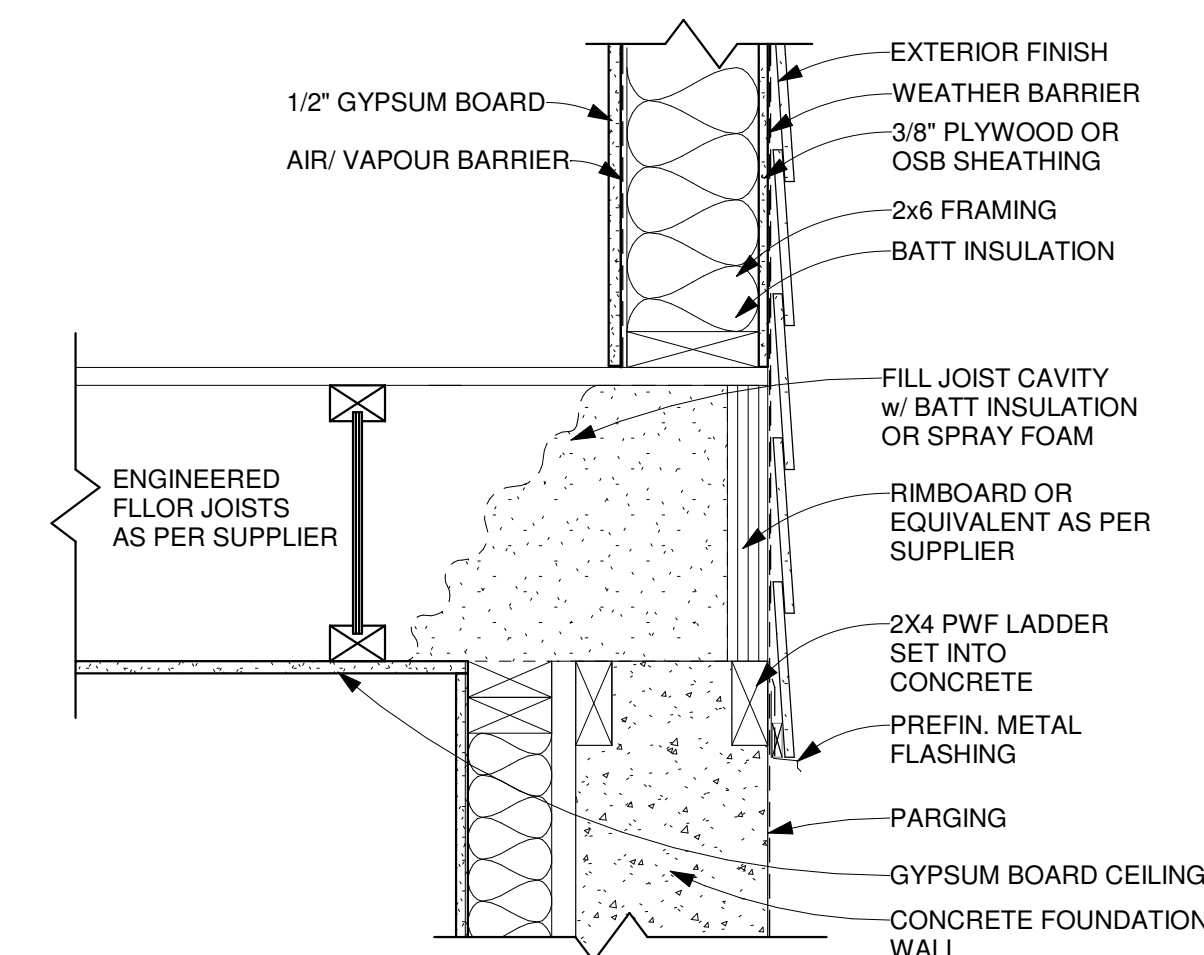
Building Sections



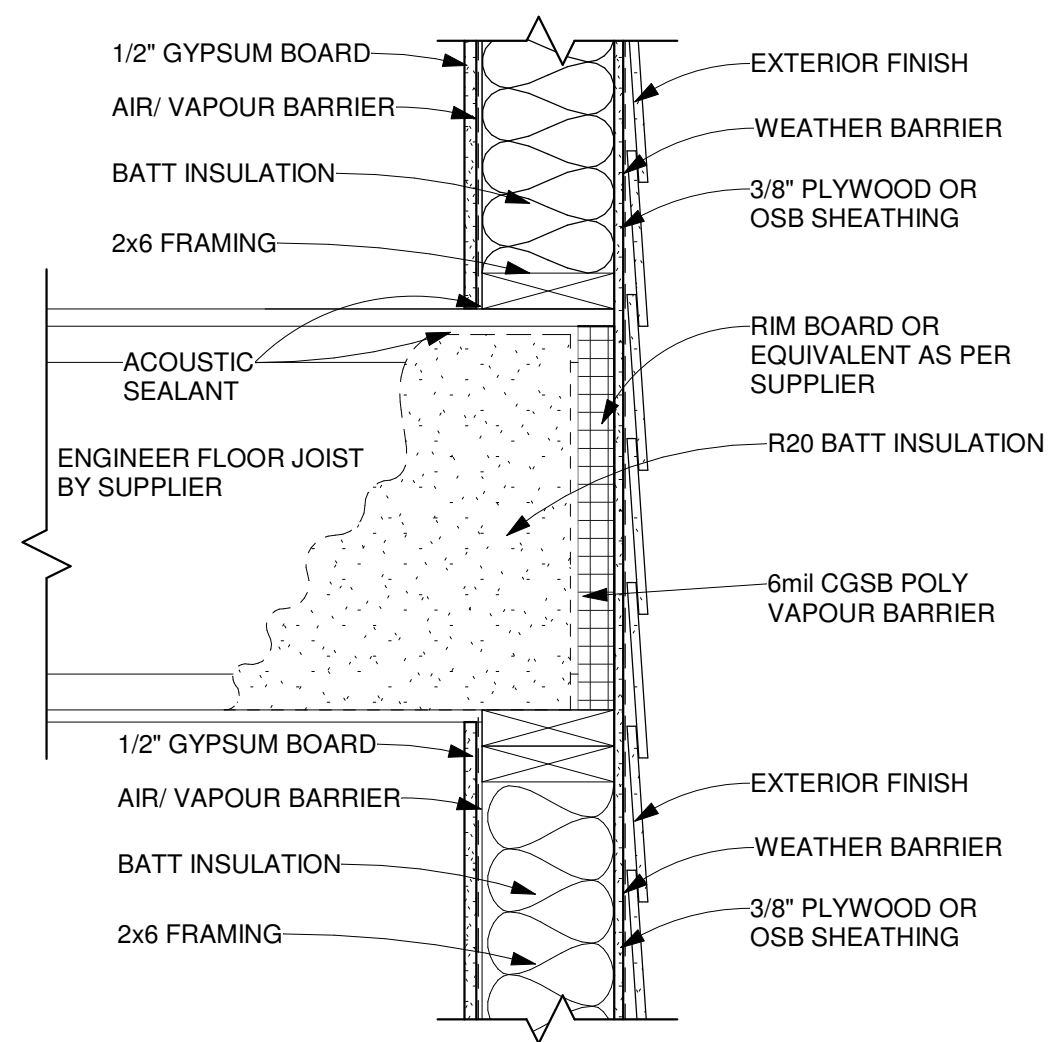
1 Roof Eave
1 1/2" = 1'-0"



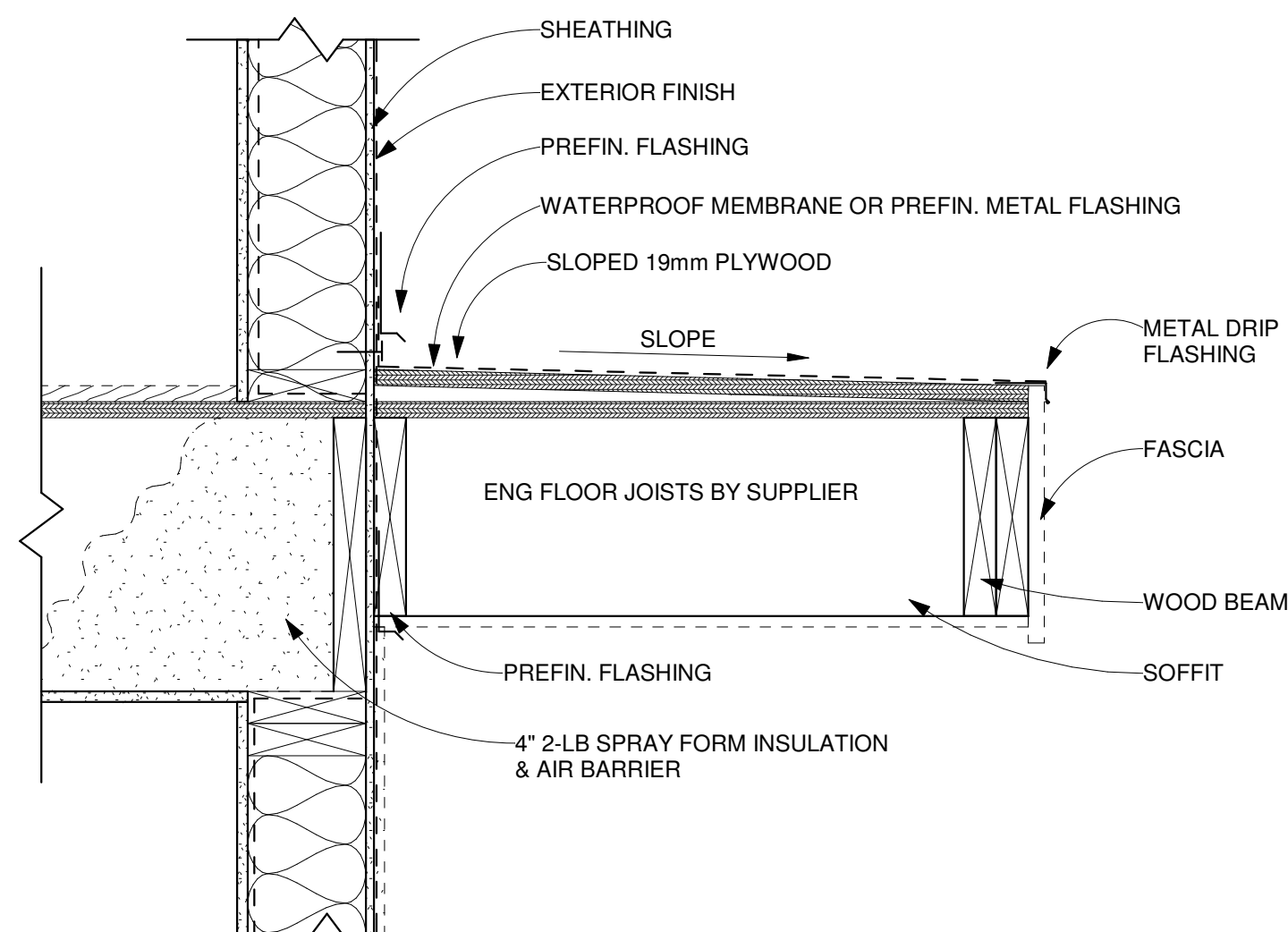
6 Floor Joist at Basement - Perpendicular
1 1/2" = 1'-0"



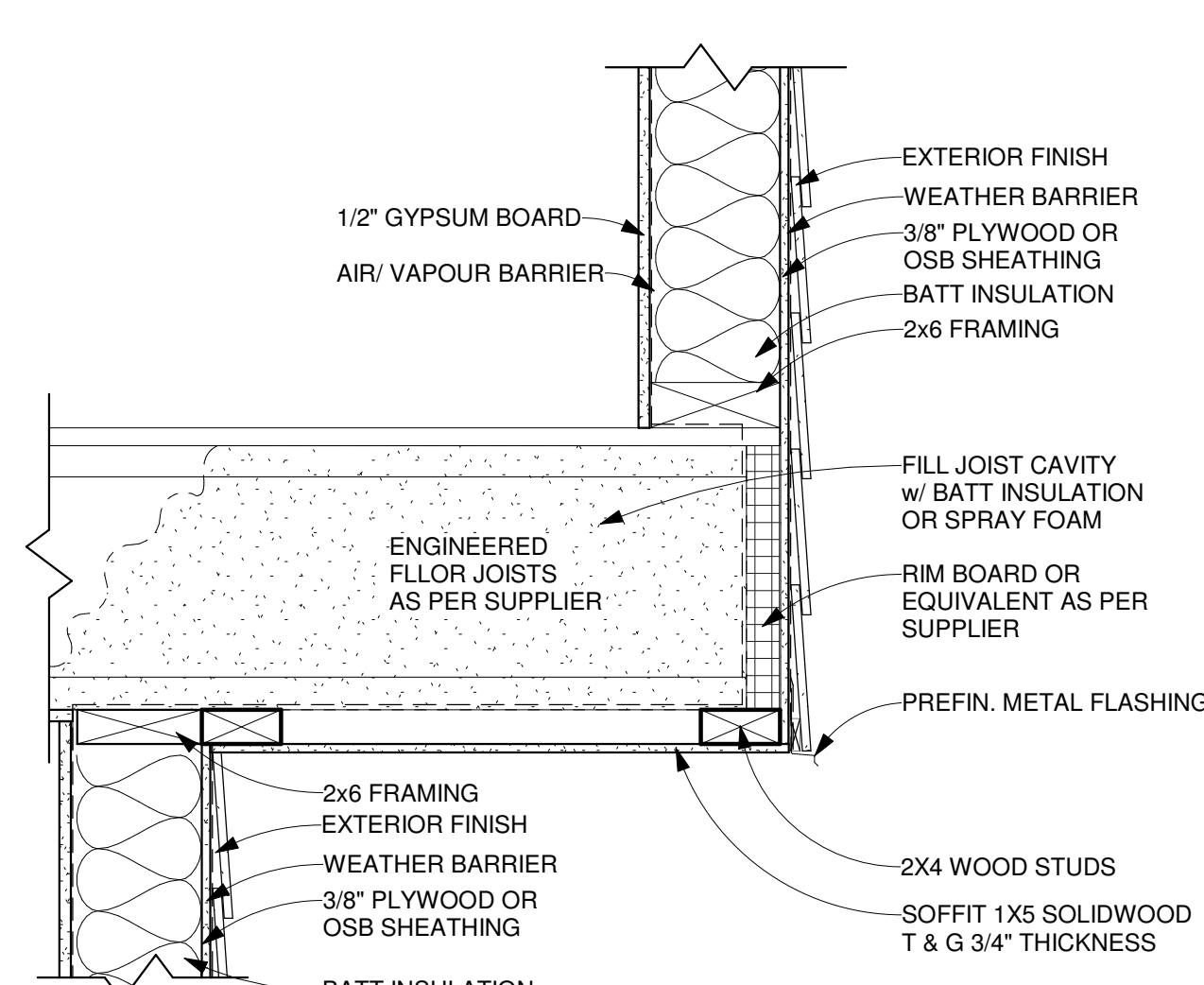
7 Floor Joist at Basement - Parallel
1 1/2" = 1'-0"



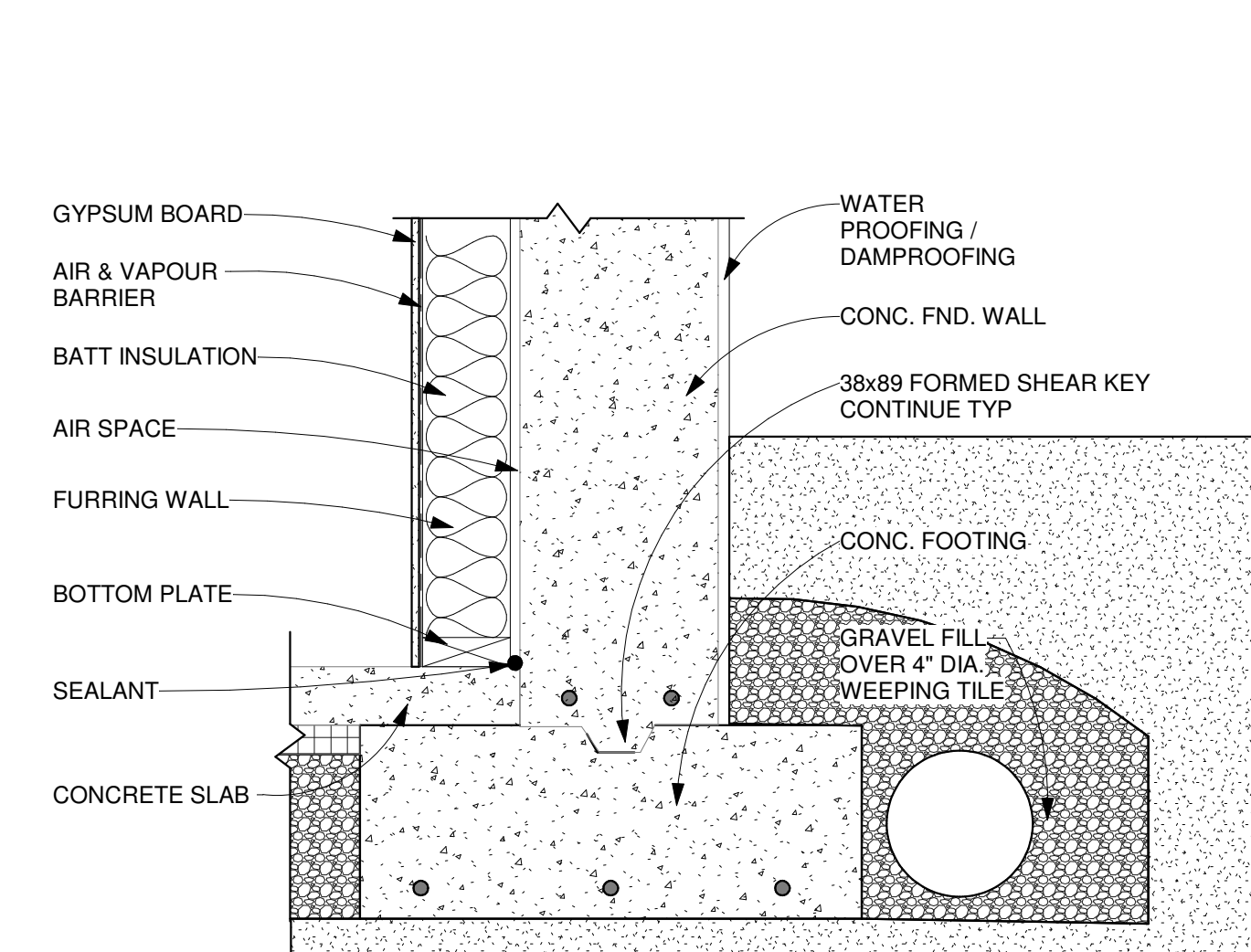
5 Floor Joist at Wall Connection
1 1/2" = 1'-0"



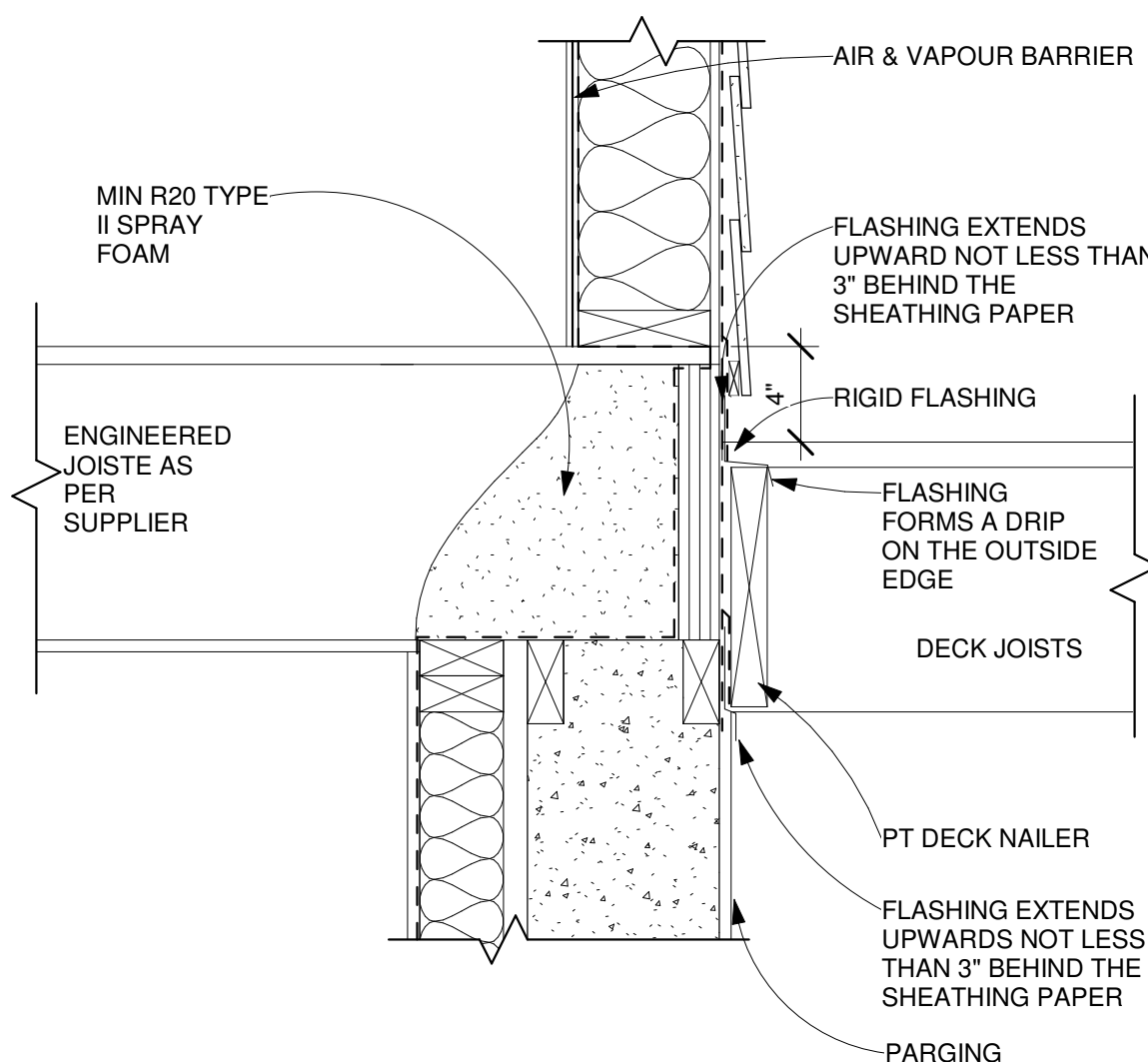
2 Canopy Section
1 1/2" = 1'-0"



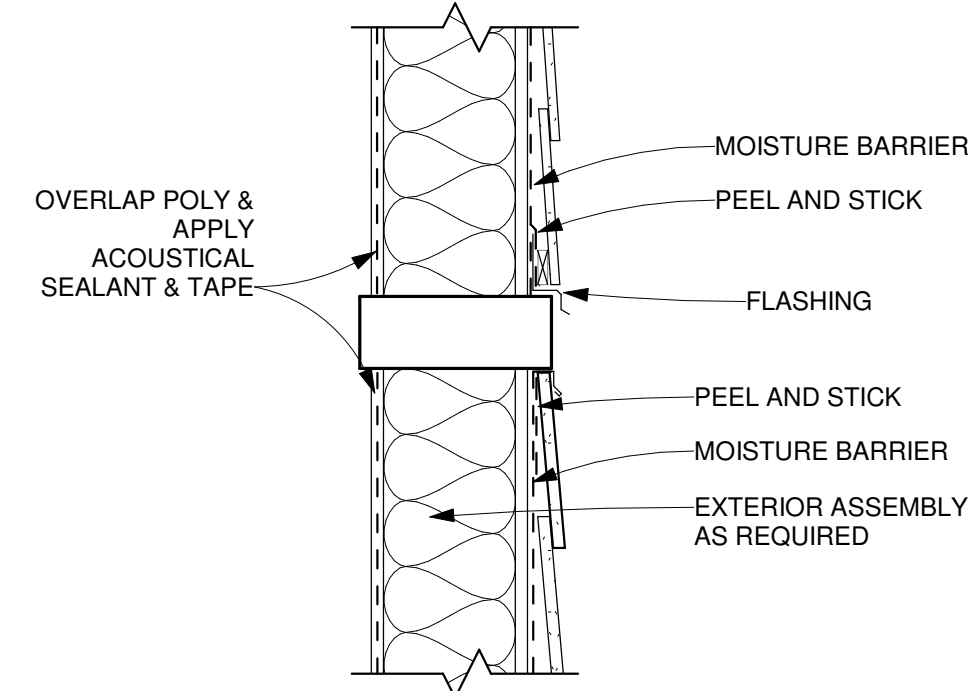
4 Cantilever Detail
1 1/2" = 1'-0"



9 Concrete Footing Detail
1" = 1'-0"



10 Deck Nailer Flashing
1 1/2" = 1'-0"



11 Penetration Through Wall
1 1/2" = 1'-0"

DATE	No.	REVISION	BY

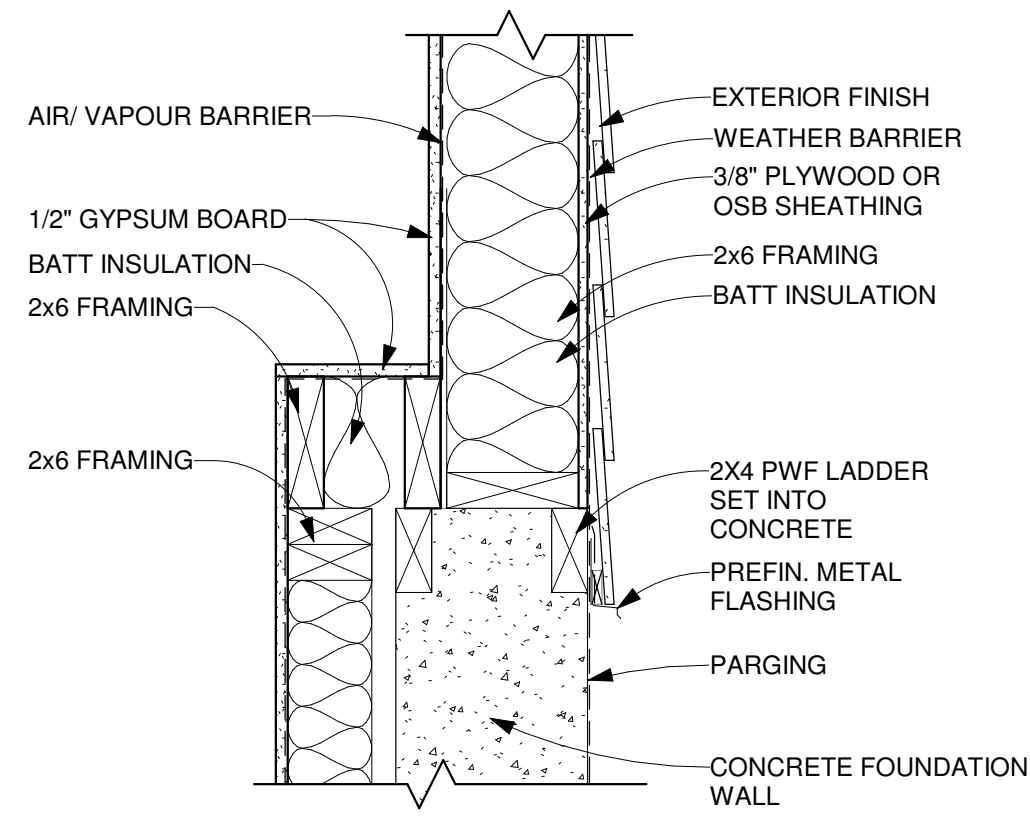
PROJECT
Springbank Lot 5
6 Elmont Close S.W., Calgary, AB

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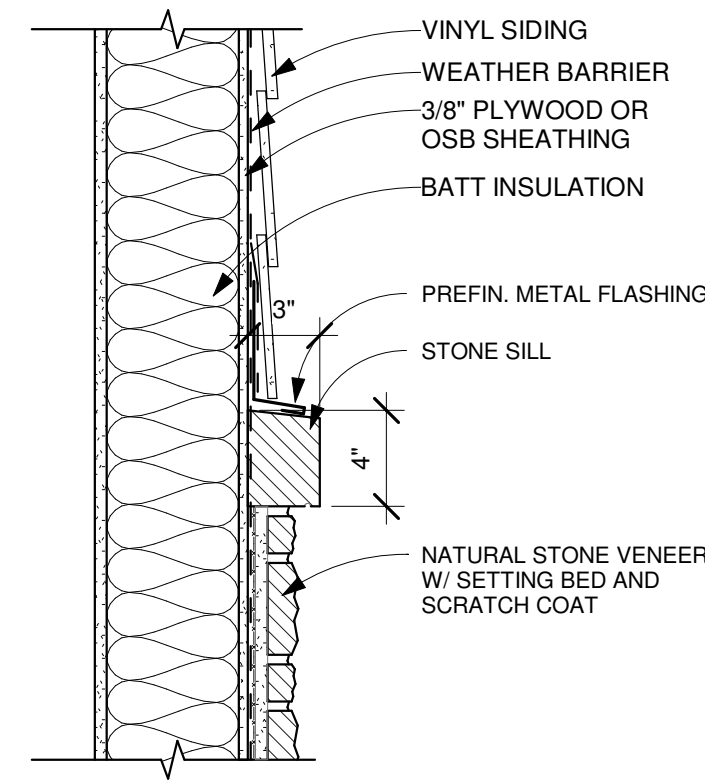
PROGRESS	Building Permit		
SCALE	As indicated		
DRAWN	Author	CHECKED	Checker
FILE	20240801-1		
DATE	2024-09-07 11:30:47 AM		

Details 1

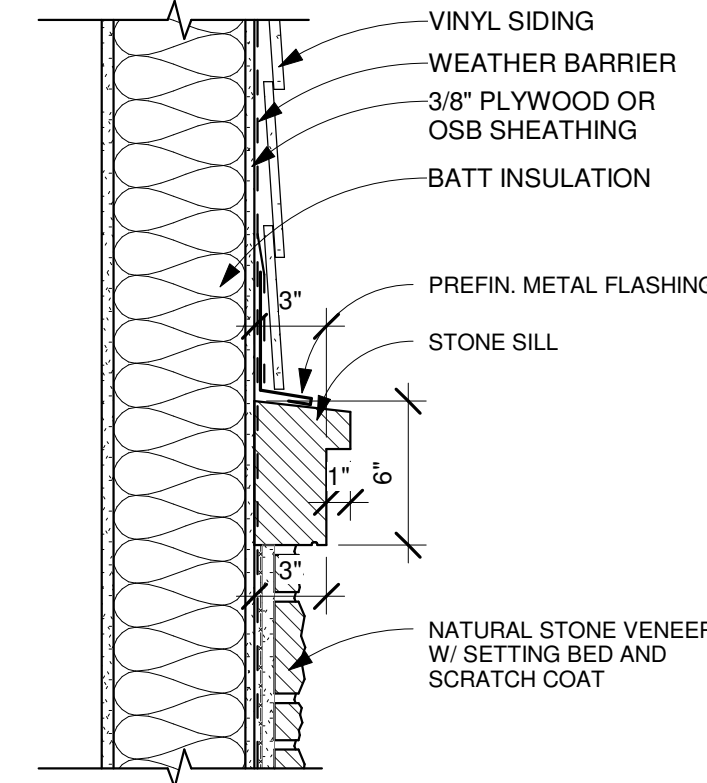
A08



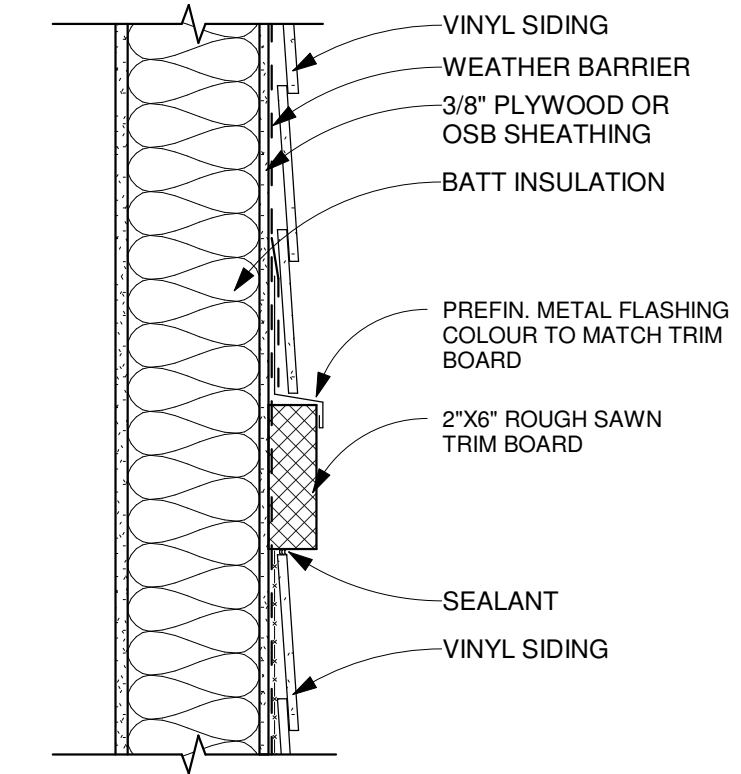
2 Floor Joist at Stair
1 1/2" = 1'-0"



3 TRANSITION @ STONE SILL
1 1/2" = 1'-0"

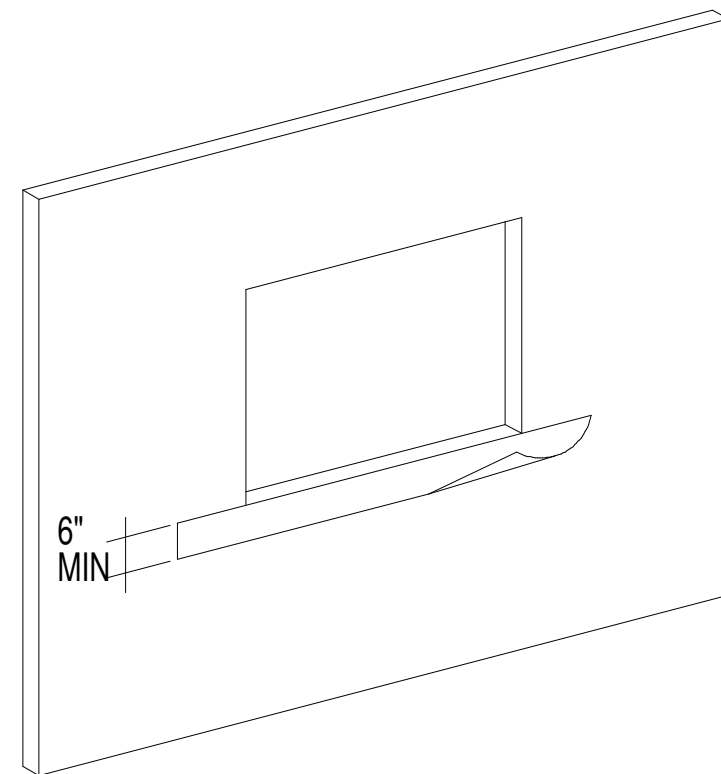


5 TRANSITION @ STONE SILL
1 1/2" = 1'-0"



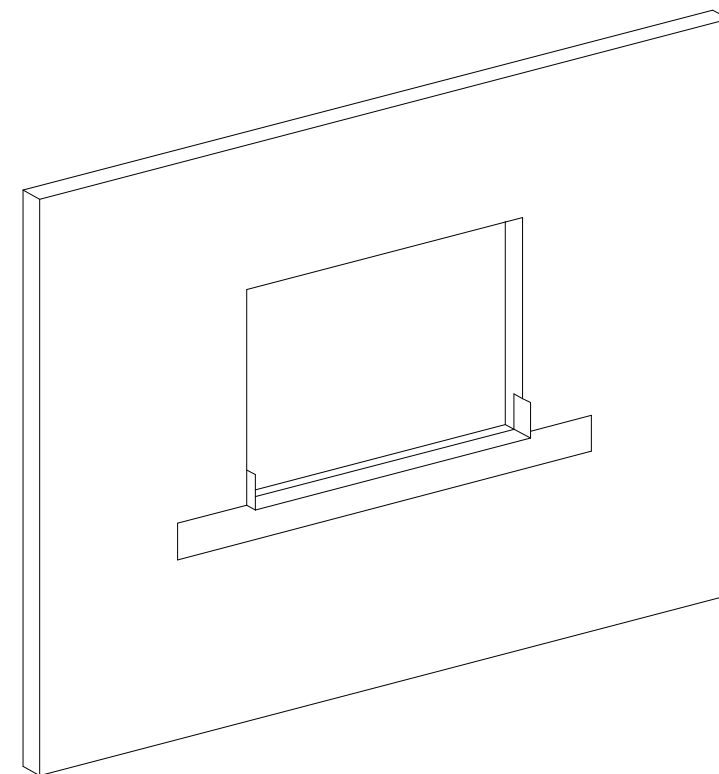
6 TRANSITION @ STONE SILL
1 1/2" = 1'-0"

TYPICAL WINDOW INSTALLATION DETAILS



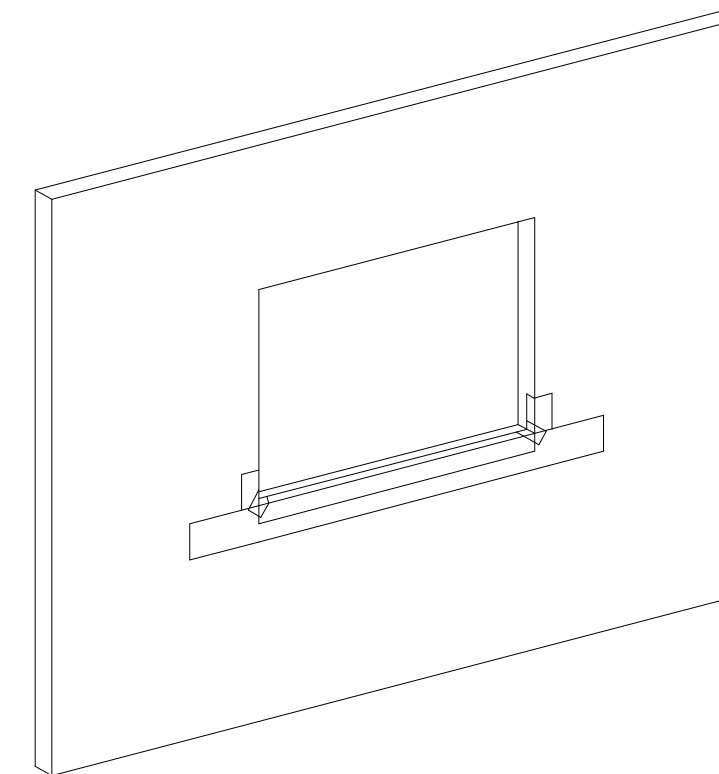
STEP 1

- INSTALL SILL FLASHING AT BOTTOM EDGE OF OPENING, STAPLE ALONG TOP EDGE 10mm FRO TOP OF PAPER
- LEAVE BOTTOM EDGE UNATTACHED FOR WATER RESISTANT BARRIER (SHEATHING PAPER) INSTALLATION TO GO UNDERNEATH FLASHING PAPER



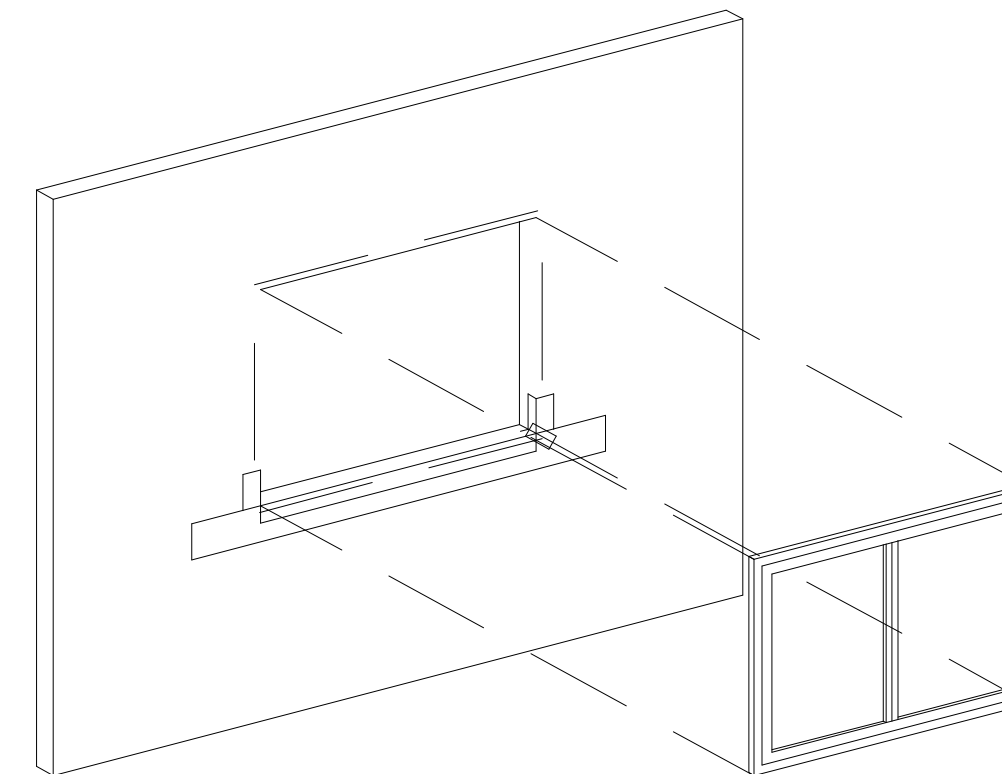
STEP 2

- INSTALL PEEL AND STICK OVER JAMB AND SILL AND JAMB FLASHING PAPERS SHOWN
- FLASHING PAPER EXTEND VERTICALLY 6"



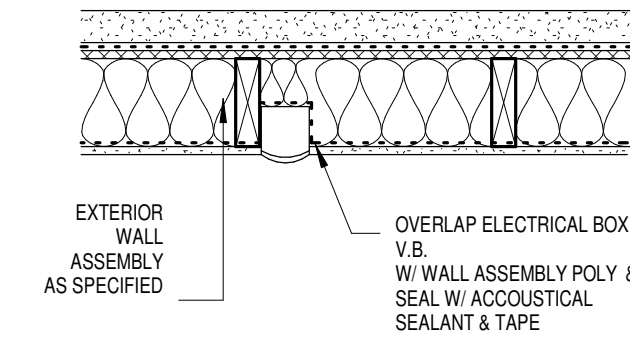
STEP 3

- CUT PEEL AND STICK MEMBRANE FOLD OVER SILL AND JAMB FLASHING PAPERS SHOWN
- PLACE PEEL AND STICK PATCH ON CORNERS BETWEEN SILL AND JAMB

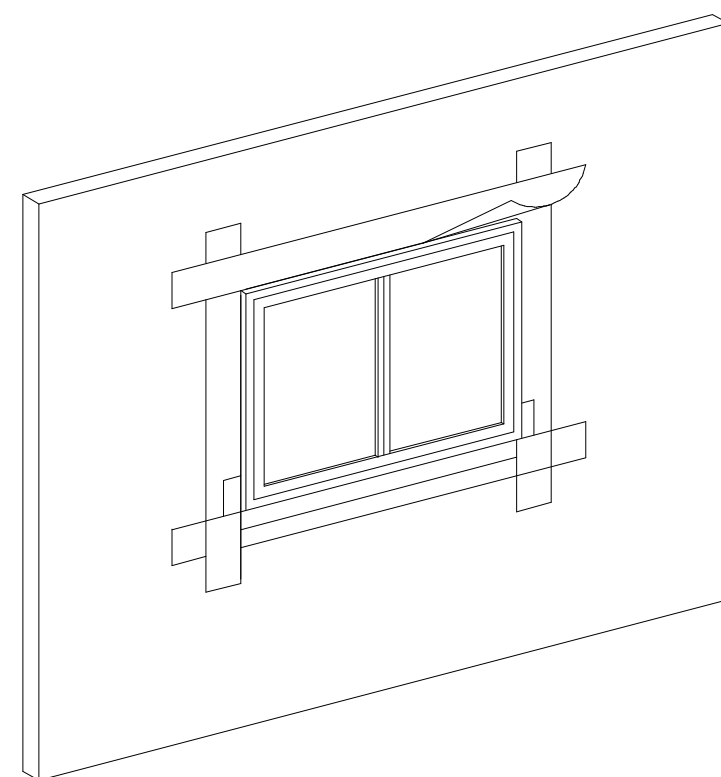


STEP 4

- INSTALL WINDOW AS PER MANUFACTURE

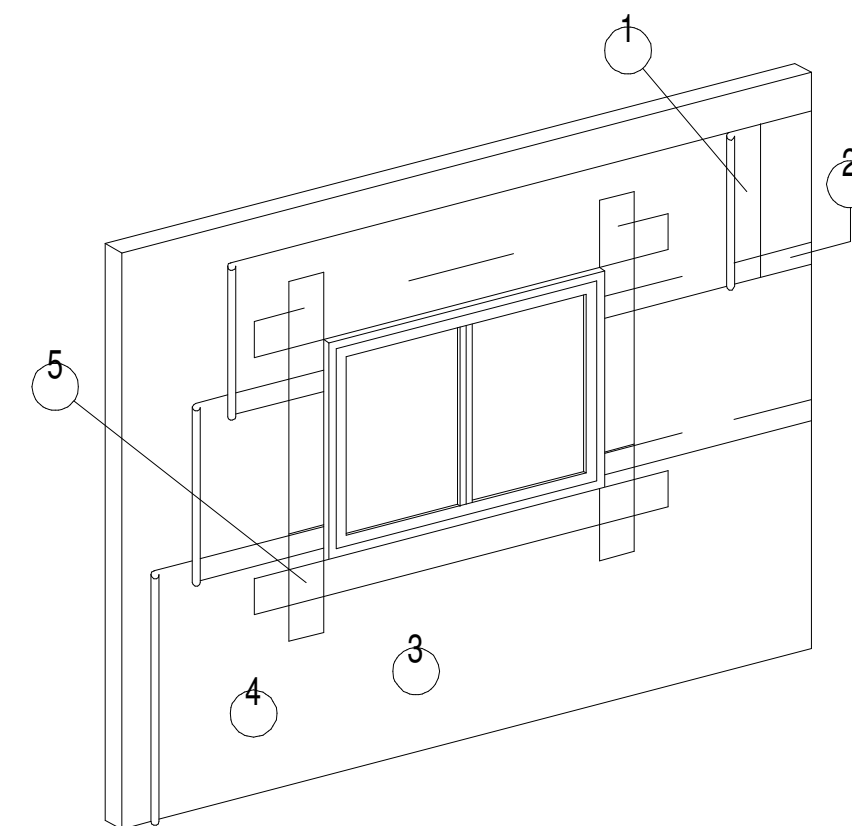


4 Typical Outlet Detail
1" = 1'-0"



STEP 5

- INSTALL PEEL AND STICK OVER WINDOW FLANGE INSTALL PEEL AND STICK AT HEAD OF WINDOW LAST
- LEAVE WINDOW HEAD FLASHING OVER THE WINDOW HEAD PEEL AND STICK FLASHING, AND PLACE THE WATER RESISTANT BARRIER (SHEATHING PAPER) OVER THE FLANGE OF THE METAL FLASHING



STEP 6

1. LAP WATER RESISTANT BARRIER (SHEATHING PAPER) VERTICALLY 6"
2. LAP WATER RESISTANT BARRIER (SHEATHING PAPER) HORIZONTALLY 4"
3. THE SHEET OF WATER RESISTANT BARRIER (SHEATHING PAPER) TO SLIP UNDER SILL AND FLASHING PAPER, NOTCH WATER RESISTANT BARRIER TO FIT TIGHTLY AROUND WINDOW FRAME PROFILE.
4. TWO LAYERS OF WATER RESISTANT BARRIER (SHEATHING PAPER) STAGGERING JOINTS 12" MIN.
5. SLIP LOWER END OF JAMB FLASHING PAPER AND SILL FLASHING PAPER OVER WATER RESISTANT BARRIER AT THE WINDOW SILL.

8 Window Installation
1/2" = 1'-0"

DATE	No.	REVISION	BY

PROJECT

Springbank Lot 5

6 Elmont Close S.W., Calgary, AB

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PROGRESS Building Permit

SCALE As indicated

DRAWN Author CHECKED Checker

FILE 20240801-1

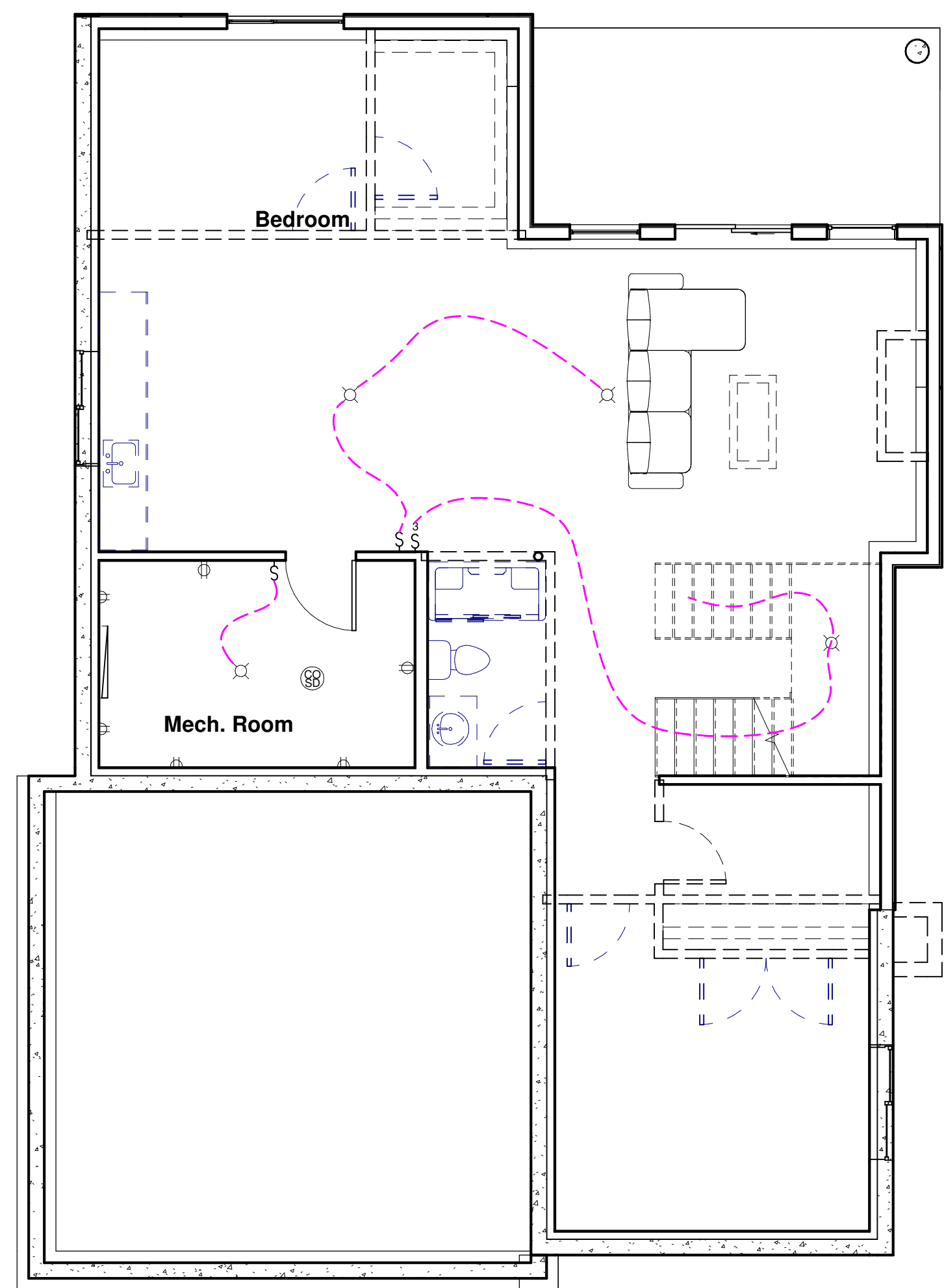
DATE 2024-09-07 11:30:47 AM

Details 2

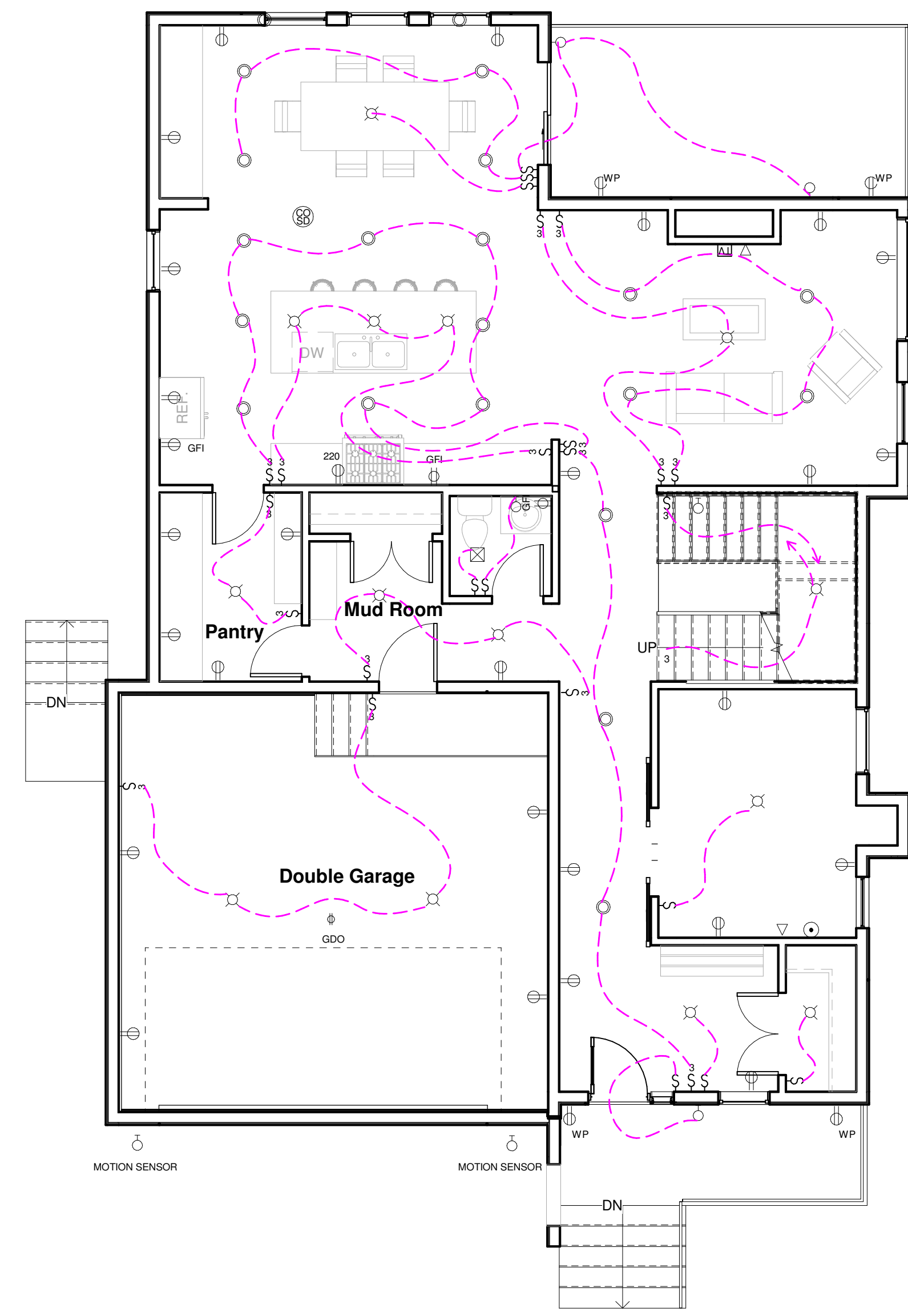
A09

ELECTRICAL LEGEND	
SYM	DESCRIPTION
	OUTLET
	GROUND FAULT OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SWITCH
	3-WAY SWITCH
	LIGHT
	POT LIGHT
	WALL MOUNTED LIGHT
	PULL CORD LIGHT
	TELEPHONE OUTLET
	WATER PROOF TELEPHONE OUTLET
	CABLE/ANTENNA CONNECTION
	CO SMOKE DETECTOR
	EXHAUST FAN
	TV OUTLET
	FLOOR OUTLET
	ELECTRICAL PANEL (CONFIRM LOCATION)
	COMPUTER NETWORKING CONNECTION
	HOME THEATER SPEAKERS

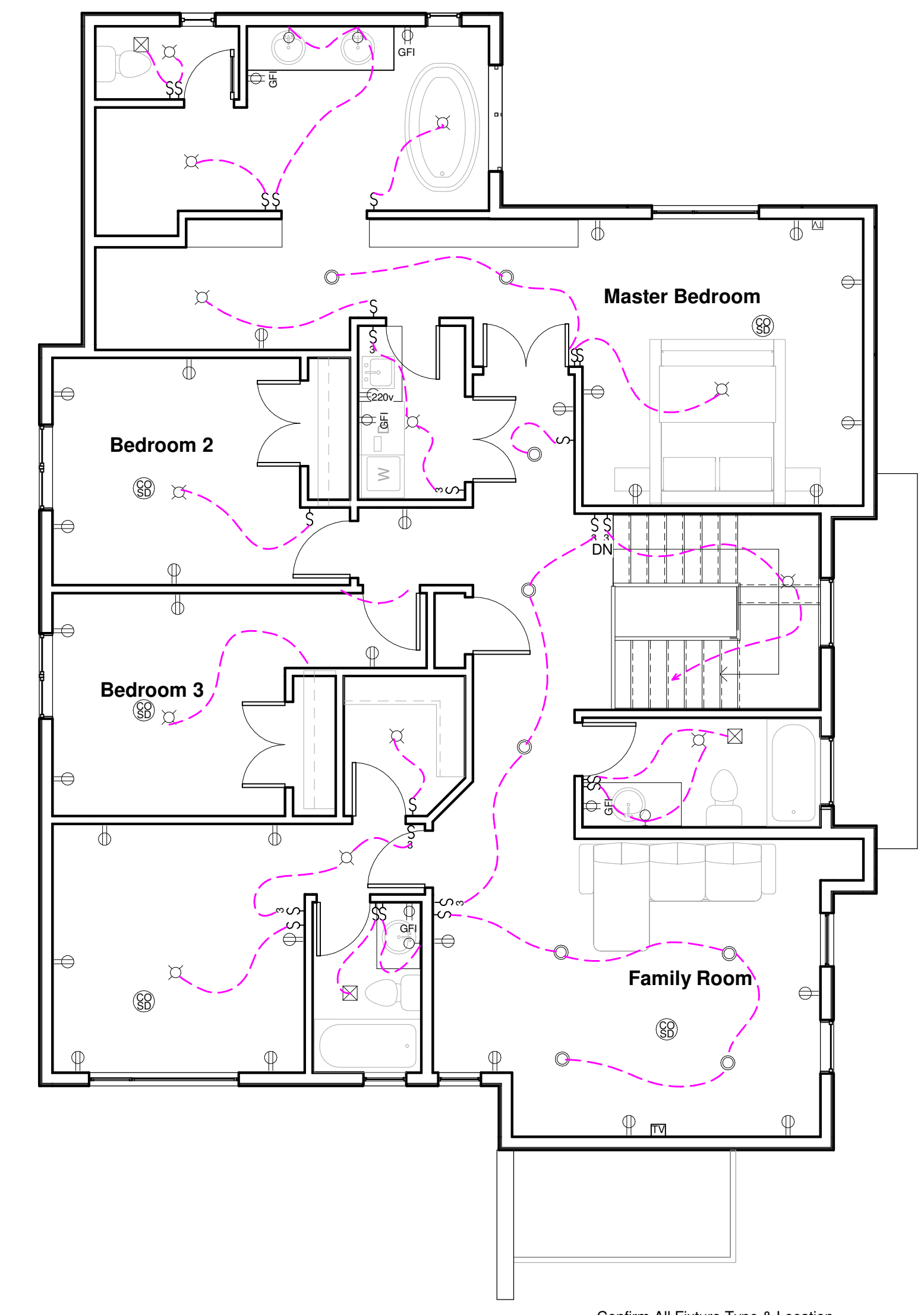
DATE	No.	REVISION	BY



④ Basement Floor Electrical
3/16" = 1'-0"



③ First Floor Electrical
3/16" = 1'-0"



② Second Floor Electrical
3/16" = 1'-0"

Confirm All Fixture Type & Location
by G.C. & Interior Designer

PROJECT
Springbank Lot 5
6 Elmont Close S.W., Calgary, AB

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PROGRESS	Building Permit
SCALE	As indicated
DRAWN	Author
FILE	20240801-1
DATE	2024-09-07 11:30:48 AM

Electrical Plans