

# PROPOSED SEMI-DETACHED DWELLING



Issued for Building Permit

## PROJECT INFORMATION

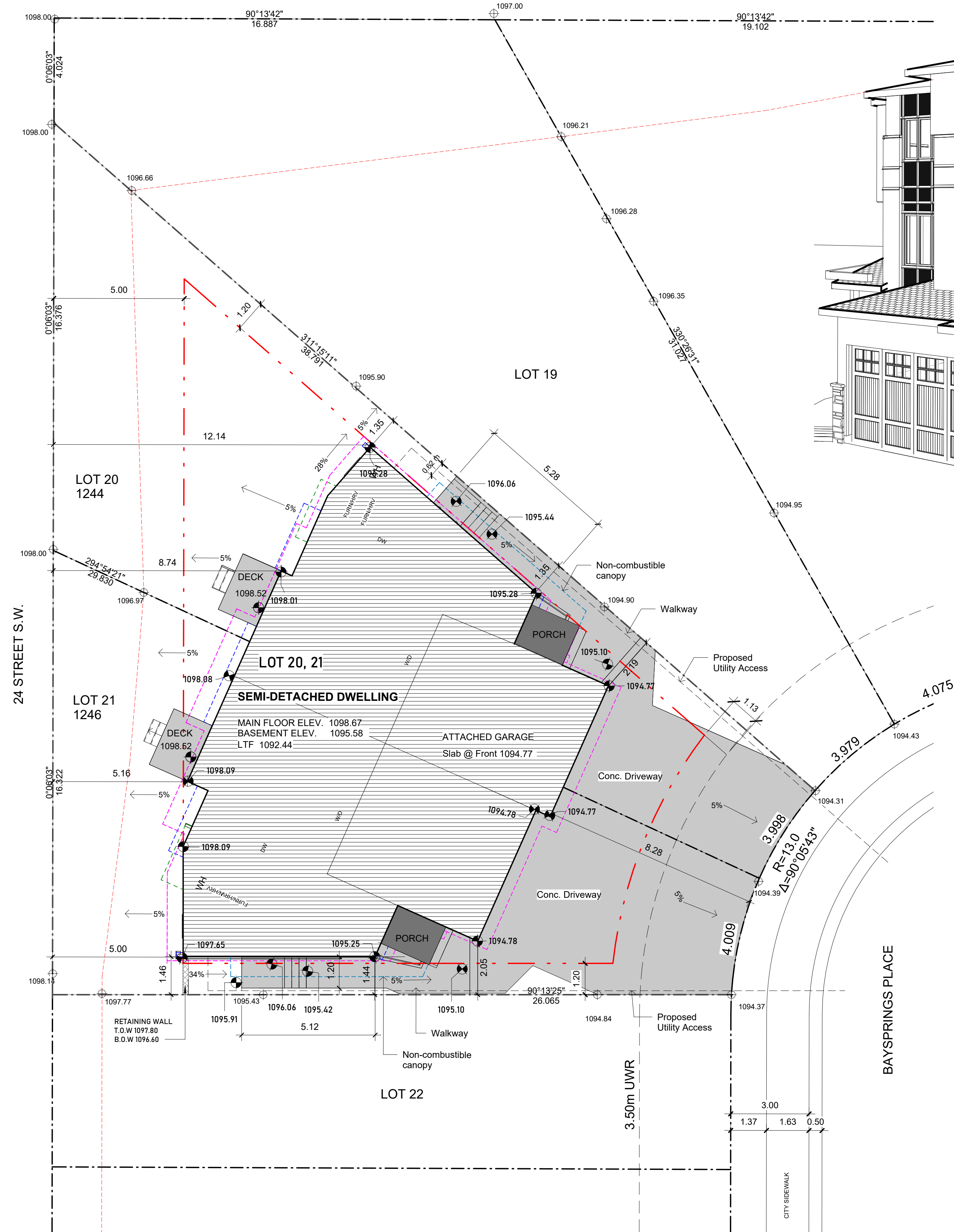
**Municipal Address:**  
1244 & 1246 Baysprings Pl SW Airdrie

**Legal Address:**  
Lot: 20, 21, Block 12

**R2-A Front-Attached Garage Townhouse District**

**Site Area = 7162.80 sqf. (665.45 m<sup>2</sup>) = 0.16ac**  
**Building Footprint = 2124.13 sqf. (197.34m<sup>2</sup>)**  
**Coverage = 29.6% < 65% (Maximum coverage)**  
**Proposed Building Height: 31.14 ft (9.49m)**  
**Max. Building Height: 13m**

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |



## SYMBOL LEGEND

|  |  |  |
|--|--|--|
| GRID LINE REFERENCE                        |  | 1  |
| ELEVATION REFERENCE                        |  | LEVEL 100.123                                    |
| BUILDING SECTION                           |  | DETAIL NUMBER<br>DRAWING CONTAINING THIS SECTION |
| DETAIL SYMBOL                              |  | DETAIL NUMBER<br>DRAWING CONTAINING THIS DETAIL  |
| WALL TYPE                                  |  | 11   |
| FLOOR TYPE                                 |  | FR   |
| DOOR NUMBER                                |  | 6503   |
| WINDOW NUMBER                              |  | 11   |
| EAVE LINE                                  |  |  |
| CANTILEVER LINE                            |  |  |
| BALCONY OUTLINE                            |  |  |
| SETBACK LINE                               |  |  |
| PROPERTY LINE                              |  |  |
| EXISTING GEODETIC DATUM                    |  | 1094.90  |
| PROPOSED GEODETIC DATUM                    |  | 1094.90  |
| CONCRETE, BROOM FINISH, DRIVEWAY, SIDEWALK |  | 1395.54 sqf.                                     |

## Building Area

|                   |              |
|-------------------|--------------|
| Main Floor        | 2026.15 sqf. |
| Second Floor      | 1930.97 sqf. |
| Total Above Grade | 3957.12 sqf. |
| Basement          | 1399.54 sqf. |
| Garage            | 773.23 sqf.  |
| Covered Porch     | 97.98 sqf.   |

## ARCHITECTURAL DRAWING LIST

| Sheet Number | Sheet Name                           |
|--------------|--------------------------------------|
| A000         | COVER PAGE & SITE PLAN               |
| A001         | GENERAL NOTE & DOOR, WINDOW SCHEDULE |
| A002         | ASSEMBLIES                           |
| A101         | BASEMENT PLAN                        |
| A102         | MAIN FLOOR PLAN                      |
| A103         | SECOND FLOOR PLAN                    |
| A104         | ROOF PLAN                            |
| A201         | SECTION 1                            |
| A202         | SECTION 2                            |
| A301         | FRONT ELEVATION                      |
| A302         | BACK ELEVATION                       |
| A303         | SIDE ELEVATIONS                      |
| A401         | Details 1                            |
| A402         | Details 2                            |

1 Site  
1:100

PROJECT  
**Project Name**

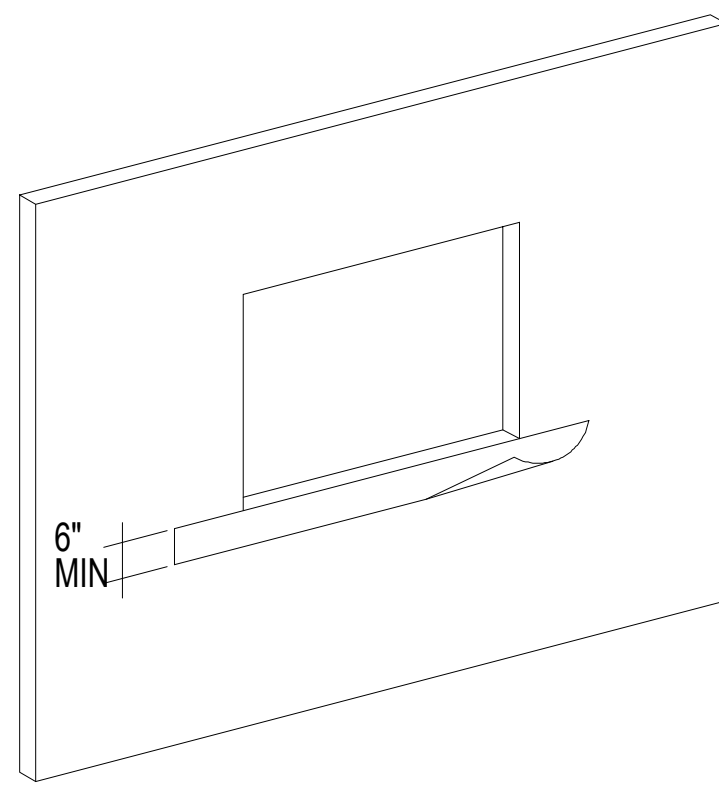
CLIENT  
**Owner**

|          |                        |
|----------|------------------------|
| PROGRESS | BP                     |
| SCALE    | As indicated           |
| DRAWN    | YY                     |
| CHECKED  | Checker                |
| FILE     | Project Number         |
| DATE     | 2025-05-03 12:52:53 AM |

**COVER PAGE & SITE PLAN**  
A000

1244 & 1246 Baysprings Pl SW Airdrie

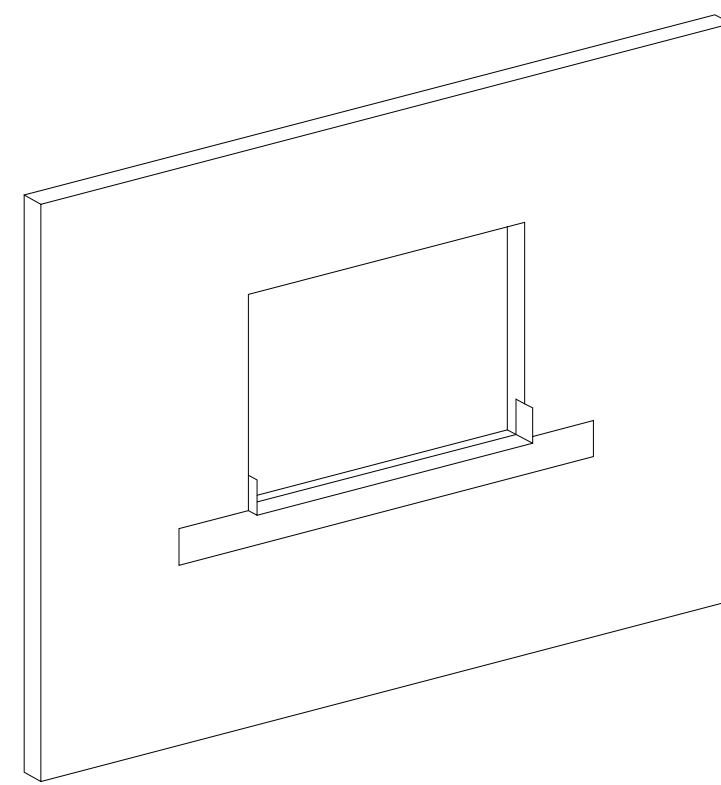
TYPICAL WINDOW INSTALLATION DETAILS



STEP 1

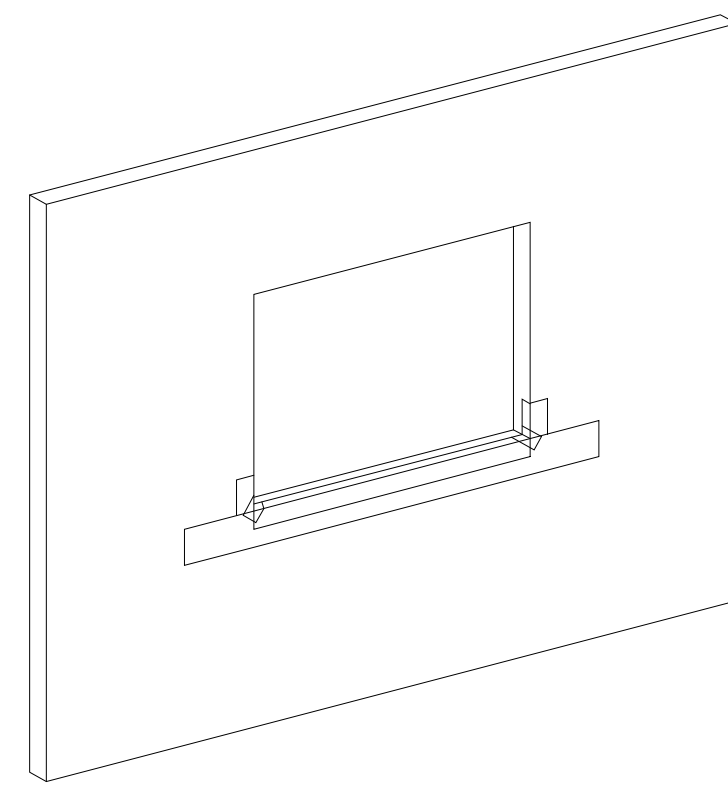
-INSTALL SILL FLASHING AT BOTTOM EDGE OF OPENING. STAPLE ALONG TOP EDGE 10mm FRO TOP OF PAPER

-LEAVE BOTTOM EDGE UNATTACHED FOR WATER RESISTANT BARRIER (SHEATHING PAPER) INSTALLATION TO GO UNDERNEATH FLASHING PAPER



STEP 2

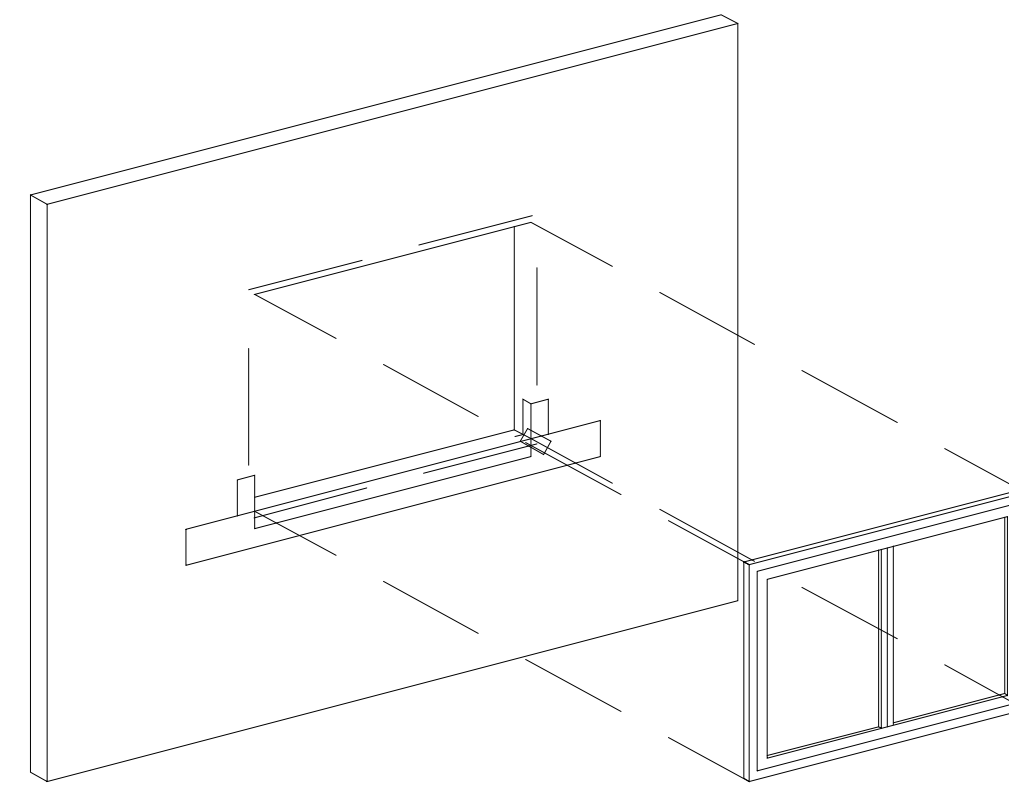
-INSTALL PEEL AND STICK OVER JAMB AND SILL FLASHING PAPER EXTEND VERTICALLY 6"



STEP 3

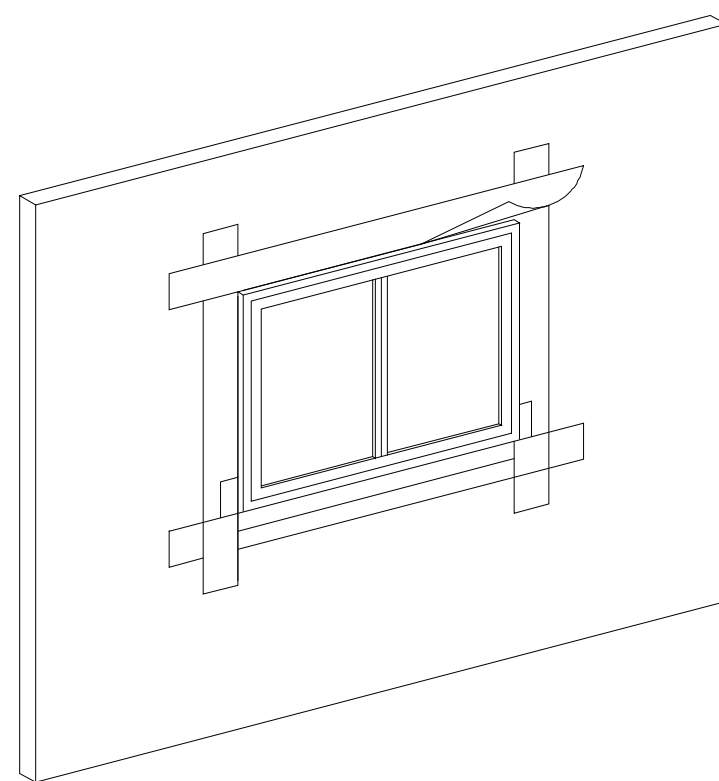
-CUT PEEL AND STICK MEMBRANE FOLD OVER SILL AND JAMB FLASHING PAPERS SHOWN

-PLACE PEEL AND STICK PATCH ON CORNERS BETWEEN SILL AND JAMB



STEP 4

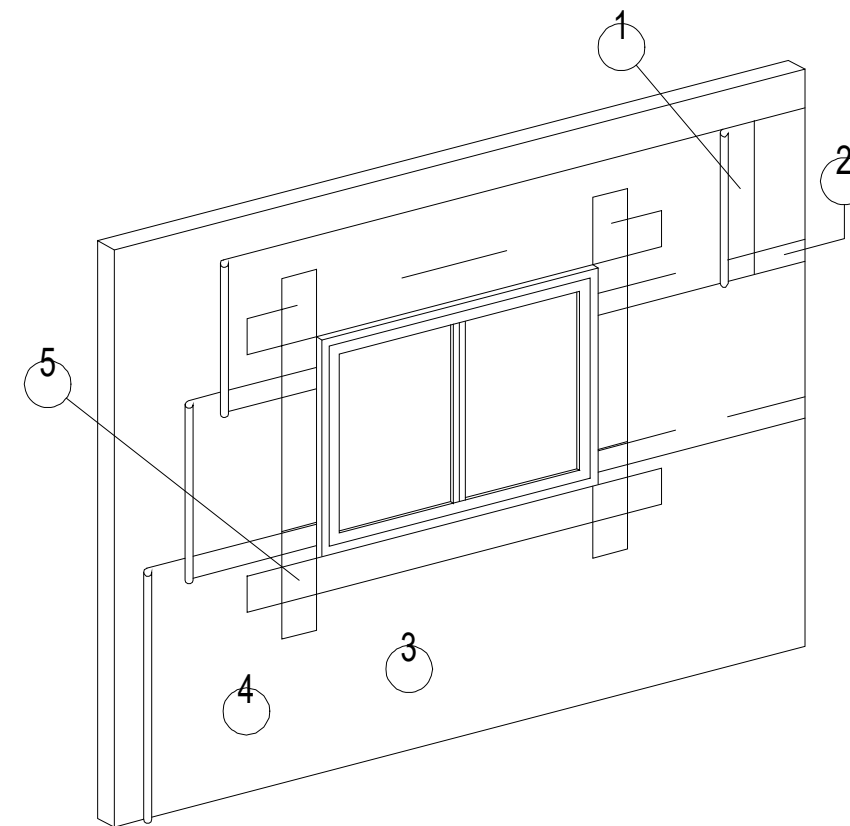
-INSTALL WINDOW AS PER MANUFACTURE



STEP 5

-INSTALL PEEL AND STICK OVER WINDOW FLANGE INSTALL PEEL AND STICK AT HEAD OF WINDOW LAST

-LEAVE WINDOW HEAD FLASHING OVER THE WINDOW HEAD PEEL AND STICK FLASHING, AND PLACE THE WATER RESISTANT BARRIER (SHEATHING PAPER) OVER THE FLANGE OF THE METAL FLASHING



STEP 6

- LAP WATER RESISTANT BARRIER (SHEATHING PAPER) VERTICALLY 6"
- LAP WATER RESISTANT BARRIER (SHEATHING PAPER) HORIZONTALLY 4"
- THE SHEET OF WATER RESISTANT BARRIER (SHEATHING PAPER) TO SLIP UNDER SILL AND FLASHING PAPER, NOTCH WATER RESISTANT BARRIER TO FIT TIGHTLY AROUND WINDOW FRAME PROFILE.
- TWO LAYERS OF WATER RESISTANT BARRIER (SHEATHING PAPER) STAGGERING JOINTS 12" MIN.
- SLIP LOWER END OF JAMB FLASHING PAPER AND SILL FLASHING PAPER OVER WATER RESISTANT BARRIER AT THE WINDOW SILL.

General Notes

- Sub-trades shall review drawings and report any discrepancies or omissions to the designer or builder prior to construction.
- All work shall conform to the 2018 Alberta Building Code.
- Floor joists, beams and columns to be designed/verified by floor supplier to meet or exceed current building codes.
- Roof truss system to be designed/verified by truss supplier to meet or exceed current building codes.
- Do not scale drawings.
- Written specifications and/or extras to contract are to be checked prior to construction.
- All fasteners to be ULC approved.
- Concrete strength to be min. 20 MPa.

CRIBBING NOTES

- Foundations to be stepped as required by site conditions.
- FRAMING NOTES
- Dimensions shown on drawings are to face of member or exterior wall face unless shown otherwise.
- All beams to be #2 SPF or better or as otherwise noted or required by Building Code.
- All brails are to be 2x10 #2 SPF or better or as otherwise noted or required by Building Code.
- The width of a wood column shall not be less than the width of the supported member.
- Tab decks are framed at 18" unless otherwise noted on plans.
- Bearing walls to be sheathed on one side.
- A gap of not less than 2mm shall be left between sheets of plywood, OSB, waferboard or fibreboard sheathing.
- Provide blocking where required for all building furniture and accessories.
- Where fire stops are penetrated by pipes, ducts or other elements, the integrity of the fire stops shall be maintained around such elements.

STAIR NOTES

- Pre-manufactured stairs c/w 9.5" min. runs w/ 1" nosing; 6" to 7.78" riser (or as noted on plans).
- Treads and riser shall be uniform as required by Building Code.
- On site measurements required prior to fabrication.

EXTERIOR FINISH NOTES

- Flashing shall be provided above all exterior doors and windows, battens, and service penetrations.
- Wall sheathing membrane shall be lapped a minimum of 4". Upper sheets shall overlap lower sheets.
- Garage door jamb to be Smartboard trimmed with 4" Smartboard bricks/rod (or as per plan).
- All exterior doors to have a Smartboard kick between the sill and the porch/deck floor or deck nailer below.
- Where there is no porch, deck or nailer below the door, a 4" minimum Smartboard kick is required.

FLASHING

- Flashing shall consist of not less than 1.73 mm thick sheet lead, 0.33 mm thick galvanized steel, 0.46 mm thick copper, 0.46 mm thick zinc, 0.46 mm thick aluminum, or 1.02 mm thick vinyl.
- Flashing shall be installed at every horizontal junction between 2 different exterior finishes, except where the upper finish overlaps the lower finish.
- Flashing shall be applied over exterior wall openings where the vertical distance from the bottom of the pane to the top of the trim is more than one-quarter of the horizontal overhang of the eave.
- Flashing shall be installed so that it extends upwards not less than 50 mm behind the sheathing paper and forms a drip on the outside edge.
- Where a window or exterior door is designed to be installed without head flashing, the exterior flange of the window or door frame shall be bedded into a non-hardening caulking material and the exterior flange screwed down over the caulking material to the wall framing to form a waterproof joint.

CAULKING

- Caulking shall be provided where required to prevent the entry of water into the structure.
- Caulking shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain.
- Caulking shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.
- Caulking shall be a non-hardening type suitable for exterior use, selected for its ability to resist the effects of weathering, and compatible with and adhere to the substrate to which it is applied.
- Caulking materials shall conform to the ABC 2011.

MECHANICAL NOTES

- Location of utilities subject to change depending on site conditions.
- Location of frame and hot water heater may change subject to mechanical contractor's layout.

ELECTRICAL NOTES

- Electrical panel is to be located on same side as underground electrical service or as per plan.
- Electrician to block receptacles to clear 3" casings.
- All pot lamps 6" unless noted otherwise.

GRADING NOTES

- Lot grading as per approved plot plan and municipal lot grading requirements.
- Final lot grades may alter appearance of elevations.

WINDOW AND EXTERIOR DOOR NOTES

- Verify frame sizes and rough openings with window manufacturer to confirm size, location and type of window and exterior doors with owner prior to construction.
- All glazing shall be clear unless otherwise noted on plans.
- Provide screen on all operable windows.
- Provide shop drawings of windows to designer or builder for approval before ordering.
- Glaze to match elevation submitted for approval.
- All glazing in exterior doors shall be tempered glass.

INTERIOR DOOR NOTES

- Verify frame opening with manufacturer and field verify all rough openings.
- Verify all door hardware with owner prior to ordering.

Stucco Notes

- GENERAL STUCCO NOTES
- Two piles of sheathing paper such as tarpaper shall be used as a weather barrier beneath stucco.
- STUCCO FASTENERS
- Fasteners for stucco lath or reinforcing shall be corrosion-resistant and of a material other than aluminum.
- Nails for stucco lath or reinforcing shall be not less than 3.2 mm diam with a head diameter of not less than 11.1 mm.
- Staples for stucco lath or reinforcing shall be not less than 1.98 mm diam or thickness.
- Staples and nails for attaching stucco lath or reinforcing to vertical surfaces shall be of sufficient length to penetrate 25 mm into framing members or to the full depth of the sheathing where the sheathing is used for attachment.
- On horizontal surfaces nails for stucco lath or reinforcing shall be not less than 38 mm long.

STUCCO LATH

- Rib lath or expanded metal stucco mesh shall be copper-alloy steel coated with rust-inhibitive paint after fabrication, or galvanized.
- Woven or welded wire mesh shall be galvanized.
- Stucco lath shall be held not less than 6 mm away from the backing by means of suitable self-furring devices.
- Wire mesh stucco lath for horizontal surfaces shall conform to this table.

| Minimum Diam of Wire, mm | Maximum Mesh Opening, mm |
|--------------------------|--------------------------|
| 1.19                     | 25                       |
| 1.35                     | 38                       |
| 1.60                     | 51                       |

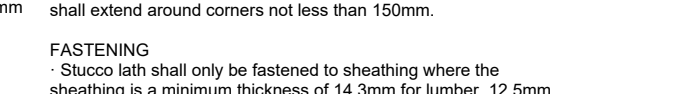
APPLICATION OF STUCCO LATH

- Stucco lath shall be applied with the long dimension horizontal.
- Horizontal and vertical joints in stucco lath shall be lapped not less than 50 mm.
- End joints of stucco lath shall be staggered and shall occur over framing members.
- External corners of stucco lath shall be reinforced with a vertical strip of lath or reinforcing extending not less than 150mm on both sides of the corner, or the lath or reinforcing shall extend around corners not less than 150mm.

FASTENING

- Stucco lath shall only be fastened to sheathing where the sheathing is a minimum thickness of 14.3mm for lumber, 12.5mm for plywood, or 12.2mm for OSB or waferboard.
- Fasteners on vertical surfaces shall be spaced not more than 150 mm o.c. vertically and 400 mm o.c. horizontally, or 100 mm o.c. vertically and 600 mm o.c. horizontally.
- Nailing patterns other than those required in Sentence (2) are permitted to be used provided there are at least 20 fasteners per square metre of wall surface.
- Fasteners on horizontal surfaces shall be spaced not more than 150 mm o.c. along the framing members when members are spaced not more than 400 mm o.c. and 100 mm o.c. along members when members are spaced not more than 600 mm o.c.

STUCCO LATH FASTENING SPACING



STUCCO LATH FASTENERS SHALL BE SPACED NOT MORE THAN 150mm o.c. VERTICALLY AND 400mm o.c. HORIZONTALLY, OR 100mm o.c. VERTICALLY AND 600mm o.c. HORIZONTALLY

Referenced from ABC 2011 9.23.10.1



| DATE | No. | REVISION | BY |
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9.13.4.2. and 9.25.3.6 – Air barrier required under slab

The air barrier must be placed directly below the slab, or applied to the top of the slab, provided a separate floor is installed over the slab.

- If a polyethylene membrane is used, it shall conform to CAN/CGSB-51.34-M. Joints must be lapped a minimum 300mm (1'-0") and.
- Sealed to the top of perimeter footing or foundation wall with approved sealant.
- All penetrations shall be sealed. This includes plumbing rough-ins, sump pit openings, etc.
- Sealants are to conform to Article 9.27.4.2.

9.25.3.6. – Slab to wall joint must be sealed

- Sealed to the footing or foundation wall with approved sealant, conforming to Article 9.27.4.2.
- Run a bead of sealant along the joint of the foundation wall and the slab.

9.13.4.3. – A rough-in for a Subfloor Depressurization System must be installed

- Must contain 100mm of clean granular material between the ground and air barrier, GE.
- A gas permeable layer with a sealed inlet and outlet.
- Min. 100mm solid pipe installed through the floor, clearly labelled and capped.
- Bottom end opening into granular layer at or near the centre of the floor.
- Pipe penetrations through air barriers must be sealed to maintain the integrity of the air barrier.

9.13.4.2.(2) – Sump pit covers must be designed to resist removal by children, and to be airtight

- The perimeter shall be weather-stripped.
- All penetrations or openings sealed.

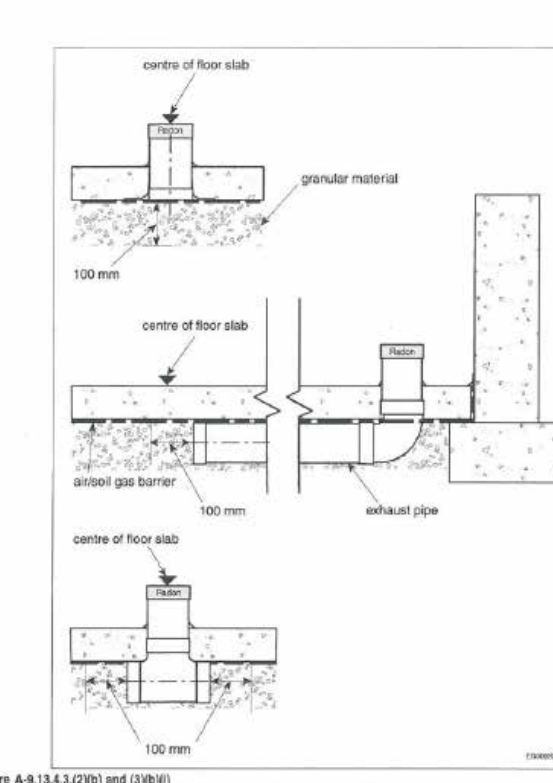


Figure A 13.1.2(2) (a) (2)(b) Acceptable configurations for the venting opening in a depressurization system

feneration canada  
Building code fenestration performance calculator  
or codes based on NBC 2018

calculations based on AAMA/WOMACI 1074.3, 2744.0-08 (NARS-08) AND C1-A4403-09 WITH UPDATE NO. CANADIAN SUPPLEMENT TO NARS-08  
For British Columbia Part 9 Buildings: no more than 10 m in height, measured from grade, please click here

calgary, ab  
product height  
rough Terrain type  
project notes

performance requirements  
minimum performance grade (PGF) 23  
minimum positive design pressure 1200 Pa  
minimum negative design pressure 1200 Pa  
minimum water penetration test pressure 200 Pa  
minimum Canadian air infiltration coefficient 23

Notes: these calculations can be verified at fenestration.ca  
Open terrain - where door frame is 5m or more from any open-sided building, trees or other obstructions, open water or shorelines.

Print Calculator Results | Fenestration Canada | RFP: 22

Rough Terrain - where rough terrain is suburban, urban or wooded terrain extending upward from the building's perimeter for at least 1 m or 20 times the height of the building, whichever is greater.  
\* The minimum Performance Grade for Product Classes other than R may be higher. Refer to NARS-08 for information about Product Classes.  
\* An A3 or Fixed rating exceeds the performance of an A2 rating.

Fenestration Canada Disclaimer: Nothing on this site constitutes legal advice. These calculations are presented as general guidance and technical information from Fenestration Canada - a not-for-profit organization. Review CMAA422-09 to confirm your calculations. Consult with a lawyer, accountant, and insurance professional before making any decisions.

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DOOR HARDWARE

- GROUP 1 - ENTRY
  - 1-1/2" PR hinges
  - perimeter weather stripping
  - bottom sweep
  - aluminum threshold
  - latch set
  - dead bolt c/w thumb turn interior, cylinder lock exterior
  - door viewer
  - wall stop
- GROUP 2 - MECH ROOM
  - 1-1/2" PR hinges
  - perimeter weather stripping
  - bottom sweep
  - aluminum threshold
  - latch set
  - hinge pin stop
  - closer
- GROUP 3 - CLOSET
  - 3 PR hinges (2 pairs if double swing doors)
  - magnetic catches
  - door pulls
  - hinge pin stops
- GROUP 4 - BEDROOM, DEN
  - 1-1/2" PR hinges
  - privacy set
  - wall stop
- GROUP 5 - 1/2 BATH, BATH
  - 1-1/2" PR hinges
  - privacy set
  - hinge pin stop
- GROUP 6 - STORAGE, W/D
  - 1-1/2" PR hinges (2 pairs if double swing doors)
  - latch set
  - wall stop

DOOR SCHEDULE

| DOOR NUMBER | SIZE ( W X H )   | DOOR MATERIAL        | DOOR FINISH | FRAME MATERIAL | FRAME FINISH | DESCRIPTION                           | REMARKS   |
|-------------|------------------|----------------------|-------------|----------------|--------------|---------------------------------------|---|
| D01         | 3' - 0"X6' - 8"  | Fiberglass Clad Wood | Pre-finish  | Fiberglass     | Pre-finish   | Entry Door, Single Swing              |   |
| D02         | 4' - 0"X7' - 0"  | Fiberglass Clad Wood | Pre-finish  | Fiberglass     | Pre-finish   | Entry Door, Double Swing              |   |
| D03         | 6' - 0"X8' - 0"  | Fiberglass Clad Wood | Pre-finish  | Fiberglass     | Pre-finish   | Exterior Sliding Door                 |   |
| D04         | 5' - 0"X7' - 0"  | Fiberglass Clad Wood | Pre-finish  | Fiberglass     | Pre-finish   | Exterior sliding Door                 |   |
| D05         | 2' - 8"X6' - 8"  | Solid Core Wood      | Paint       | Wood           | Paint        | Interior Single Swing, Mech room door | Min. 45mm thick solid core wood, c/w self closing device, sweep, & perimeter smoke seal |
| D06         | 2' - 8"X7' - 0"  | Hollow Core Wood     | Paint       | Wood           | Paint        | Interior Single Swing                 |   |
| D07         | 2' - 6"X7' - 0"  | Hollow Core Wood     | Paint       | Wood           | Paint        | Interior Single Swing                 |   |
| D08         | 2' - 4"X7' - 0"  | Hollow Core Wood     | Paint       | Wood           | Paint        | Interior Single Swing                 |   |
| D09         | 4' - 0"X7' - 0"  | Hollow Core Wood     | Paint       | Wood           | Paint        | Interior Double Swing                 |   |
| D10         | 3' - 4"X6' - 8"  | Hollow Core Wood     | Paint       | Wood           | Paint        | Interior Double Swing                 |   |
| D11         | 2' - 8"X6' - 8"  | Solid Core Wood      | Paint       | Wood           | Paint        | Interior Single Swing                 | Min. 45mm thick solid core wood, c/w self closing device, sweep, & perimeter smoke seal |
| D12         | 16' - 0"X9' - 0" | As per Manuf.        | Paint       | As per Manuf.  | Paint        | Overhead Garage Door                  |   |

WINDOW SCHEDULE

| DOOR NUMBER | Width   | Size    | Height  | Description                 | Comments |
|-------------|---------|---------|---------|-----------------------------|----------|
| W01         | 5' - 0" | 2' - 6" | 2' - 6" | Slider                      |          |
| W02         | 4' - 0" | 5' - 0" | 5' - 0" | Casement                    |          |
| W03         | 2' - 6" | 5' - 0" | 5' - 0" | Double Hung                 |          |
| W04         | 3' - 0" | 5' - 0" | 5' - 0" | Double Hung                 |          |
| W06         | 5' - 0" | 5' - 0" | 5' - 0" | Picture                     |          |
| W07         | 3' - 0" | 4' - 0" | 4' - 0" | Picture                     |          |
| W08         | 3' - 0" | 4' - 0" | 4' - 0" | Double Hung                 |          |
| W09         | 5' - 6" | 4' - 0" | 4' - 0" | Compound (Casement/Picture) |          |
| W10         | 5' - 6" | 5' - 0" | 5' - 0" | Compound (Casement/Picture) |          |
| W11         | 4' - 0" | 4' - 0" | 4' - 0" | Compound (Casement/Picture) |          |

PROJECT  
**Project Name**

CLIENT  
**Owner**

PROGRESS BP  
SCALE As indicated  
DRAWN YY CHECKED Checker  
FILE Project Number  
DATE 2025-05-03 12:52:56 AM

GENERAL NOTE & DOOR, WINDOW SCHEDULE

1244 & 1246 Baysprings PI SW Airdrie



# R-VALUE CALCULATIONS FOR ASSEMBLIES

2023 NATIONAL BUILDING CODE - ALBERTA EDITION SECTION 9.36.  
Prescriptive Values

## FLOOR TYPE

- F1 CONCRETE FLOOR SLAB - 4" (BASEMENT / ON GRADE) 9.9 RSI**
- interior finish
  - 4" sitecast normal-density concrete
  - 10mm rebar @ 24" on center both ways
  - 10 mil (0.15mm) polyethylene sheet air, radon, & vapour barrier
  - all joints lapped and taped
  - 2" XPS rigid insulation to min. 48" from foundation perimeter
  - min. 6" compacted gravel c/w Radon Mitigation pipes (one capped standpipe per slab)

- F2 UNINSULATED SLAB - GARAGE SLAB**
- 2-part thermosetting epoxy concrete sealer
  - 4" sitecast concrete
  - 10mm rebar @ 24" both ways
  - 6mil (0.15mm) poly air & vapour barrier
  - min. 5" compacted gravel

- F3 ENGINEERED FLOOR (TYPICAL)**
- finish flooring
  - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
  - engineered floor joists, as per supplier's layout
  - 1/2" Type X gypsum board taped, filled & sanded
  - interior finish
  - @ PERIMETER RIM BOARDS:
    - exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications
    - 1 ply TYVEK HomeWrap (water-resistive and air barrier) installed as per manufacturer's specifications
    - 1/2" plywood or OSB sheathing
    - 1 1/8" eng. rim boards around perimeter
    - engineered floor joists @ 19.2" o/c max. U.N.O., refer to structural drawings
    - 4" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)

- F4 ENGINEERED FLOOR (ABOVE SECONDARY SUITES)**  
*Table 9.10.3.1 B Fth STC 53*  
*Construct as a smoke-tight barrier*
- finish flooring
  - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
  - engineered floor joists, as per supplier's layout
  - mineral wool acoustic insulation or equivalent
  - resilient metal channels @ 24", o.c. (perpendicular to joists)
  - 2 layers 5/8" Type X gypsum board taped, filled & sanded
  - interior finish
  - @ PERIMETER RIM BOARDS
    - exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications
    - 1 ply TYVEK HomeWrap (water-resistive and air barrier) installed as per manufacturer's specifications
    - 1/2" plywood or OSB sheathing
    - 1 1/8" eng. rim boards around perimeter
    - engineered floor joists @ 19.2" o/c max. U.N.O., refer to structural drawings
    - 4" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)
  - Note: Run plumbing as tight to floor as possible, provide pipe insulation to all piping in assembly

- F5 ENGINEERED FLOOR (CANTILEVER) 4.3 RSI**
- finish flooring
  - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
  - engineered floor joists, as per supplier's layout
  - 6" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)
  - 1/2" exterior grade plywood or OSB sheathing
  - unvented prefinished metal soffit
  - @ PERIMETER RIM BOARDS
    - exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications
    - 1 layer vapour permeable building paper, 30 min. or equiv., installed as per manufacturers specifications
    - 1/2" OSB sheathing (fire resistant OSB as per AFC 5.6.1.2)
    - Rim boards around perimeter, as per supplier layout
    - engineered floor joists @ 19.2" o/c max. U.N.O., as per supplier's layout
    - 6" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)
    - Building wrap water-resistive barrier
    - Pre-finished metal soffit

- F6 LIVING SPACE FLOOR OVER GARAGE**
- finish flooring
  - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
  - engineered floor joists (as per supplier's layout)
  - min. R28 Type II spray foam insulation
  - 5/8" Type X gypsum board
  - interior finish

## ROOF TYPE

- R1 TRUSS ROOF - TYPICAL 9.10 RSI**
- asphalt shingles, installed as per manufacturer's specs
  - roofing felt
  - metal valleys, colour matched to gutter
  - ice and water shield at eaves and valleys
  - 3/4" plywood or OSB sheathing, c/w H-clips
  - vented attic air space
  - engineered roof trusses, as per supplier
  - 15" R50 loose-fill cellulose insulation [(0.025 x 381mm) @ 92.5%]
  - 6mil (0.15mm) polyethylene sheet air and vapour barrier,
  - all joints lapped with acoustic sealant & taped
  - 1/2" controlled density gypsum board; taped, filled, & sanded (5/8" Type X gypsum board to garage)
  - interior finish
  - prefinished metal soffit, as per builder's specs

- R2 ENGINEERED ROOF DECK 5.98 RSI**
- non-slip self-adhering waterproof vinyl deck membrane
  - 1/2" plywood subfloor
  - 1" min. depth XPS rigid foam sloped to scuppers
  - min. 3/4" plywood or OSB T&G sheathing (glued & screwed)
  - engineered floor joists, refer to structural drawings
  - 6" medium density closed cell sprayed polyurethane foam
  - 1/2" gypsum board taped, filled & sanded
  - interior finish
  - @ PERIMETER RIM BOARDS
    - exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications
    - 1 ply TYVEK HomeWrap (water-resistive and air barrier) installed as per manufacturer's specifications
    - 1/2" plywood or OSB sheathing
    - 1 1/8" eng. rim boards around perimeter
    - engineered roof trusses, spaced @ 24" o/c max. U.N.O., refer to structural drawings
    - 5" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)

- R3 BALCONY**
- Non-slip self-adhering waterproof vinyl deck membrane (water barrier)
  - 3/4" (19 mm) plywood subfloor T&G sheathing, glued & screwed
  - 2% sloped lumber strapping screwed through to joists, sloped to edge/scuppers/drains
  - Min. 3/4" (19 mm) plywood or OSB T&G sheathing, glued & screwed
  - Lumber or joists, refer to Structural drawings/supplier's layouts
  - Prefinished vented metal soffit

- R4 TRUSS ROOF - CANOPY**
- asphalt shingles, installed as per manufacturer's specs
  - self-sealing roofing membrane
  - metal valleys, colour matched to gutter
  - ice and water shield at eaves and valleys
  - 1/2" plywood or OSB T&G sheathing, c/w H-clips
  - 3/8" exterior grade plywood or OSB sheathing
  - engineered roof trusses, spaced as per supplier's layout
  - unvented prefinished metal soffit as per builder's specification

## WALL TYPE

- PARTITION WALL**
- P1 2x4 PARTITION - TYPICAL**
- interior finish
  - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
  - 2x4 wood studs @ 24" o.c. (unless otherwise noted)
  - 1/2" standard gypsum board taped, filled & sanded for painting (1/2" blue board facing tub/shower as required)
  - interior finish

- P2 2x6 PARTITION**
- interior finish
  - 1/2" standard or mold-resistant gypsum board: taped, filled & sanded for painting
  - 2x6 wood studs spaced @ 16" o/c max. U.N.O. refer to structural drawing
  - 1/2" standard or mold-resistant gypsum board taped, filled & sanded for painting
  - interior finish

- P3 2x6 FURRING - MECHANICAL WALL**
- interior finish
  - 1/2" standard or mold-resistant gypsum board: taped, filled & sanded for painting
  - 2x6 wood studs spaced @ 24" o/c max. U.N.O.

- P4 2X6 SECONDARY SUITE SEPARATION**  
*SMOKE-TIGHT BARRIER, STC 45: NBC 2023-AE TABLE 9.10.3.1-A, W3a*
- interior finish
  - 5/8" type X gypsum board, taped, filled & sanded
  - resilient metal channels @ max. 600mm o/c, perpendicular to studs
  - 2x6 wood studs, refer to structural drawings/supplier's layouts
  - Acoustic batt insulation to fill cavities
  - 5/8" type X gypsum board, taped, filled & sanded
  - interior finish

## PARTY WALL

- PW1 2-2x4 DEMISING WALL - TYPICAL - 1 hr F.R.R.**  
*NBC-2023 AE: Appendix D Table D-2.1.1. FRR 1 hr*  
*Table 9.10.3.1.A W13a (sim) STC 57*
- interior finish
  - 1/2" standard or mold-resistant gypsum board: taped, filled & sanded for painting
  - 5/8" Type X gypsum board
  - 6mil (0.15mm) poly vapour barrier, as required all joints lapped with acoustic sealant & taped (refer to details and install as per ABC 2023)
  - fibreglass or mineral wool batt insulation
  - 2x4 wood studs spaced @ 16" o.c.
  - 1" air space
  - 2x4 wood studs spaced @ 16" o.c.
  - fibreglass or mineral wool batt insulation
  - 6mil (0.15mm) poly vapour barrier, as required all joints lapped with acoustic sealant & taped (refer to details and install as per ABC 2023)
  - 5/8" Type X gypsum board
  - 1/2" standard or mold-resistant gypsum board: taped, filled & sanded for painting
  - interior finish

## EXTERIOR WALL

- W1 FOUNDATION / WING WALL (8")**
- smooth parging c/w metal lath (above grade)
  - drainage mat (below grade to weeping tile)
  - 8" sitecast normal-density concrete walls on 20" x 8" concrete strip footing
  - smooth parging (above grade)
  - capillary break on concrete strip footing as per structural engineer

- W2 FOUNDATION - BASEMENT 3.16 RSI**
- smooth parging c/w metal lath (above grade)
  - drainage mat (below grade to weeping tile)
  - 1" EPS rigid insulation from t/o footing, cement faced above grade to min. 6" below grade
  - waterproofing/dampproofing (below grade to top of footing)
  - 8" sitecast normal-density concrete wall on dampproofing
  - capillary break on concrete strip footing as per structural engineer
  - min. 1/2" air cavity
  - 2x6 wood stud framing spaced @ 24" o/c max. U.N.O., refer to structural drawings
  - R20 batt insulation
  - 6 mil (0.15mm) polyethylene sheet air and vapour barrier (warm side of stud) all joints lapped with acoustic sealant & tape
  - 1/2" standard or mold-resistant gypsum board taped, filled & sanded for painting
  - interior finish

- W3 2x6 EXTERIOR WALL 3.185 RSI**
- exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications
  - rainscreen air space w/ 1" x 3" wood furring strips
  - 1 layer TYVEK HomeWrap behind sidings / 1 ply building paper + 1 ply TYVEK StuccoWrap behind stucco, 30 min. or equiv. (water barrier), installed as per manufacturer's specifications
  - 1/2" plywood or OSB sheathing (fire resistant OSB as req'd per 2019 NFC-AE 5.6.1.2), liquid applied flashing & seam filler to all joints & gaps (air barrier)
  - 2x6 wood stud framing spaced @ 16" o/c max. U.N.O., refer to structural drawings
  - R24 batt insulation snug-filled to cavities
  - 6 mil (0.15mm) polyethylene sheet vapour barrier (warm side of stud), all joints lapped with sealant & taped
  - 1/2" gypsum board taped, filled & sanded for painting
  - interior finish

- W4 2x4 EXTERIOR WALL - PARAPET**
- pre-finished metal coping
  - smooth acrylic stucco or cultured stone or equivalent (as per elevation drawings) as per manufacturer's specifications.
  - 1 ply building paper, 30 min. or equiv. weather barrier [bond break]
  - 1 ply TYVEK HomeWrap or StuccoWrap air barrier installed as per manufacturer's specifications
  - 3/8" plywood or OSB sheathing (fire resistant OSB as per AFC 5.6.1.2)
  - 2x4 wood studs @ 16" o.c.
  - 3/8" plywood of OSB sheathing
  - 2 plies building paper
  - exterior cladding as per elevations, installed as per manufacturer's specifications

| FLOOR ASSEMBLIES |   |                   |
|------------------|---|-------------------|
| TAG              | DESCRIPTION   | CODE REQUIREMENTS |
| F1               | CONCRETE FLOOR SLAB - 4" (BASEMENT / ON GRADE)  | (1.96 req'd)      |
|                  | air film  | 0.16              |
|                  | interior finish   | -                 |
|                  | 4" 100 mm cast concrete slab, (0.0004 RSI/ mm)  | 0.04              |
|                  | 10mm rebar at 24" on center both ways   | 0                 |
|                  | 10 mil (0.15mm) polyethylene sheet air, radon, & vapour barrier   | -                 |
|                  | all joints lapped and taped   |                   |
|                  | 2" (51 mm) XPS Type 2 rigid insulation to 1.2m from perimeter (0.035 RSI/ mm)   | 1.79              |
|                  | min. 6" compacted gravel c/w Radon Mitigation pipes (one capped standpipe per slab)   | -                 |
|                  | TOTAL RSI   | 1.99              |
| F4               | ENGINEERED FLOOR (CANTILEVER)   | (5.02 req'd)      |
|                  | air film  | 0.16              |
|                  | finish flooring   | -                 |
|                  | min. 3/4" plywood or OSB T&G sheathing (glued & screwed)  | 0.186             |
|                  | 1-joists, @ 406 o/c (302mm I joist, with 6" medium density closed-cell sprayed polyurethane foam, 9% area of framing, 91% area of cavity)(vapour barrier) | 4.96              |
|                  | 1/2" exterior grade plywood or OSB sheathing (0.0087 x 12.7)  | 0.127             |
|                  | unvented prefinished metal soffit   |                   |
|                  | @ PERIMETER RIM BOARDS  |                   |
|                  | exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications   |                   |
|                  | 1 layer vapour permeable building paper, 30 min. or equiv., installed as per manufacturers specifications   |                   |
|                  | 1/2" OSB sheathing (fire resistant OSB as per AFC 5.6.1.2)  |                   |
|                  | Rim boards around perimeter, as per supplier layout   |                   |
|                  | engineered floor joists., refer to structural drawings  |                   |
|                  | 6" medium density (closed cell) sprayed polyurethane foam (also serves as vapour barrier)   |                   |
|                  | Building wrap water-resistive barrier   |                   |
|                  | Pre-finished metal soffit   |                   |
|                  | TOTAL RSI   | 5.433             |

| ROOF ASSEMBLIES |   |                   |
|-----------------|---|-------------------|
| TAG             | DESCRIPTION   | CODE REQUIREMENTS |
| R1              | TRUSS ROOF - TYPICAL (CEILING BELOW ATTICS)   | (8.67 req'd)      |
|                 | asphalt shingles, installed as per manufacturer's specs   |                   |
|                 | roofing felt  |                   |
|                 | metal valleys, colour matched to gutter   |                   |
|                 | ice and water shield at eaves and valleys   |                   |
|                 | 3/4" plywood or OSB sheathing, c/w H-clips  |                   |
|                 | vented attic air space  | 0.03              |
|                 | Engineered roof trusses, raised heel, @ 610 mm o/c (2x4 bottom chord lumber with 4" loose-fill cellulose insulation)  | 1.746             |
|                 | 15" (381 mm) loose-fill cellulose insulation (0.01875 RSI/ mm)  | 7.143             |
|                 | 6mil (0.15mm) polyethylene sheet air and vapour barrier, all joints lapped with acoustic sealant & taped              | 0                 |
|                 | 1/2" controlled density gypsum board; taped, filled, & sanded   | 0.08              |
|                 | air film  | 0.11              |
|                 | TOTAL RSI   | 9.10              |
| R2              | ENGINEERED ROOF DECK  | (5.02 req'd)      |
|                 | air film  | 0.03              |
|                 | non-slip self-adhering waterproof vinyl deck membrane   |                   |
|                 | 1/2" plywood subfloor   | 0.109             |
|                 | 1" min. depth XPS rigid foam sloped to scuppers   | 0.88              |
|                 | min. 3/4" plywood or OSB T&G sheathing (glued & screwed)  | 0.161             |
|                 | 11 7/8" engineered floor joists @ 19.2" (488mm) o/c max. U.N.O., refer to structural drawings [(0.0085x302mm) @ 7.5%] | 4.612             |
|                 | R28 batt insulation (4.93 @ 92.5%)  |                   |
|                 | 6 mil (0.15mm) polyethylene sheet, all joints lapped with acoustic sealant & taped (air and vapour barrier)           |                   |
|                 | 1/2" gypsum board, taped, filled & sanded   | 0.08              |
|                 | interior finish   |                   |
|                 | air film  | 0.11              |
|                 | TOTAL RSI   | 5.982             |

| WALL ASSEMBLIES |  |                   |
|-----------------|--|-------------------|
| TAG             | DESCRIPTION  | CODE REQUIREMENTS |
| W2              | FOUNDATION - BASEMENT (NBC AE 2023, Table 9.36.2.8.(1)-(A))  | (2.98 req'd)      |
|                 | smooth parging c/w metal lath (above grade)  | 0                 |
|                 | drainage mat (below grade to weeping tile)   | 0                 |
|                 | waterproofing/dampproofing (below grade to top of footing)   | 0                 |
|                 | 8" 200 mm cast in place concrete   | 2.78              |
|                 | 2x6 wood stud @ 24" o/c  |                   |
|                 | R19 batt insulation (3.34 effective RSI)   |                   |
|                 | Min. 13mm air cavity (interpolated b/w concrete and stud wall)   | 0.18              |
|                 | 6 mil (0.15mm) polyethylene sheet air and vapour barrier (warm side of stud) all joints lapped with acoustic sealant & taped   |                   |
|                 | 1/2" standard or mold-resistant gypsum board taped, filled & sanded for painting   | 0.08              |
|                 | air film   | 0.12              |
|                 | TOTAL RSI  | 3.16              |
| W3              | 2x6 EXTERIOR WALL (NBC AE 2023, Table 9.36.2.6.(1)-(B))  | (2.97 req'd)      |
|                 | Outside air film   | 0.03              |
|                 | exterior cladding as per elevations / Material Chart installed as per manufacturer's specifications  | 0.026             |
|                 | rainscreen air space w/ 1" x 3" wood furring strips  | 0.16              |
|                 | 1 layer TYVEK HomeWrap behind sidings / 1 ply building paper + 1 ply TYVEK StuccoWrap behind stucco, 30 min. or equiv. (water barrier), installed as per manufacturer's specifications |                   |
|                 | 1/2" plywood or OSB sheathing (fire resistant OSB as req'd per 2023 NFC-AE 5.6.1.2), liquid applied flashing & seam filler to all joints & gaps (air barrier)                          | 0.109             |
|                 | 2x6 wood stud framing @ 16" o/c (1.19 x 23%)   | 2.66              |
|                 | R24 batt insulation snug-filled to cavities (16", RSI 4.23)  |                   |
|                 | 6 mil (0.15mm) polyethylene sheet vapour barrier (warm side of stud), all joints lapped with sealant & taped   |                   |
|                 | 1/2" gypsum board taped, filled & sanded for painting  | 0.08              |
|                 | air film   | 0.12              |
|                 | TOTAL RSI  | 3.185             |

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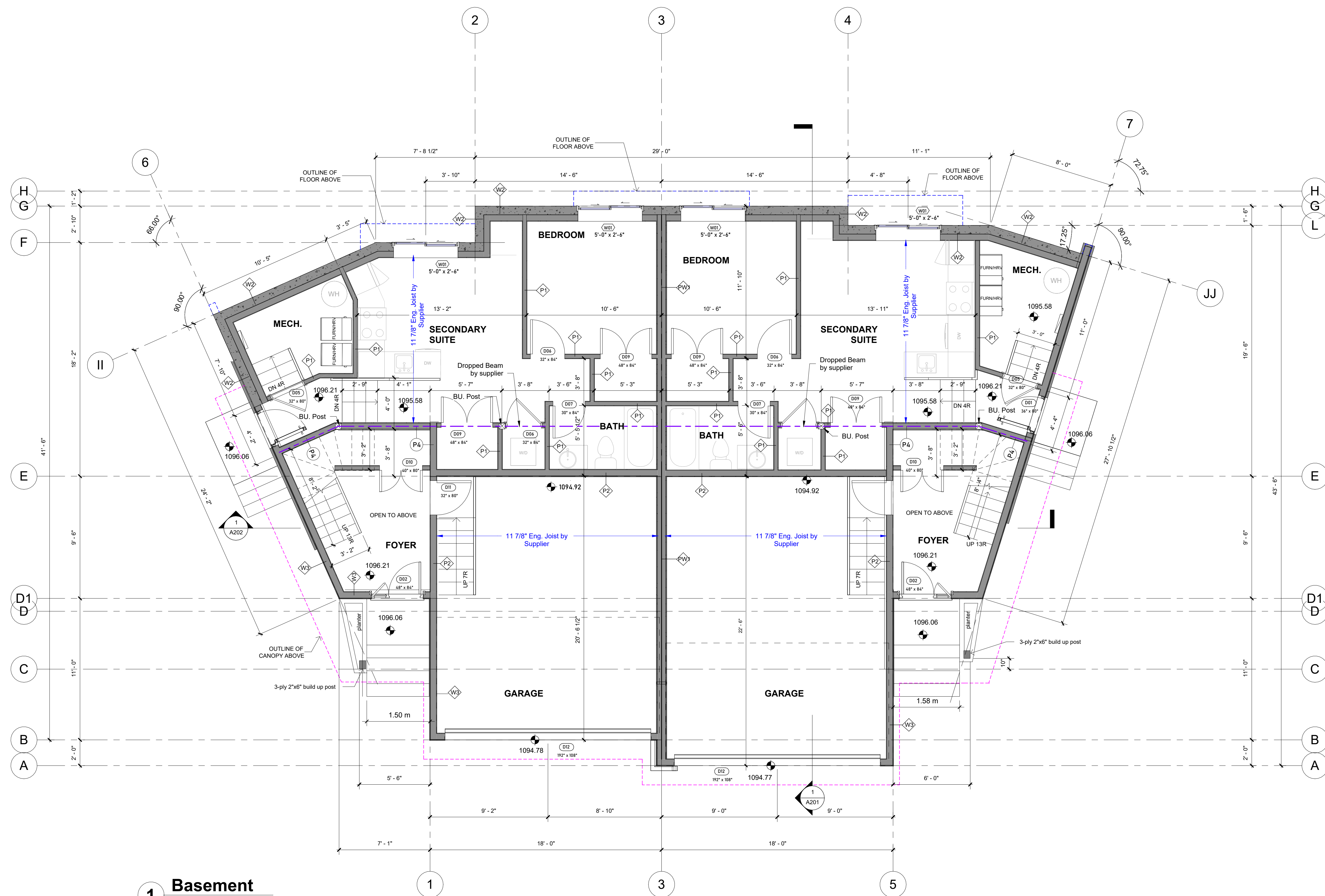
PROJECT  
**Project Name**  
1244 & 1246 Baysprings PI SW Airdrie

CLIENT  
**Owner**

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| FILE     | Project Number         |         |         |
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## ASSEMBLIES

A002



**1** **Basement**  
 1/4" = 1'-0"

Basement Area: 691.35 sqf. + 708.19 sqf.  
 Garage Area: 368.25 sqf. + 404.98 sqf.  
 Secondary Suite Area: 563.47 sqf. + 584.71 sqf.

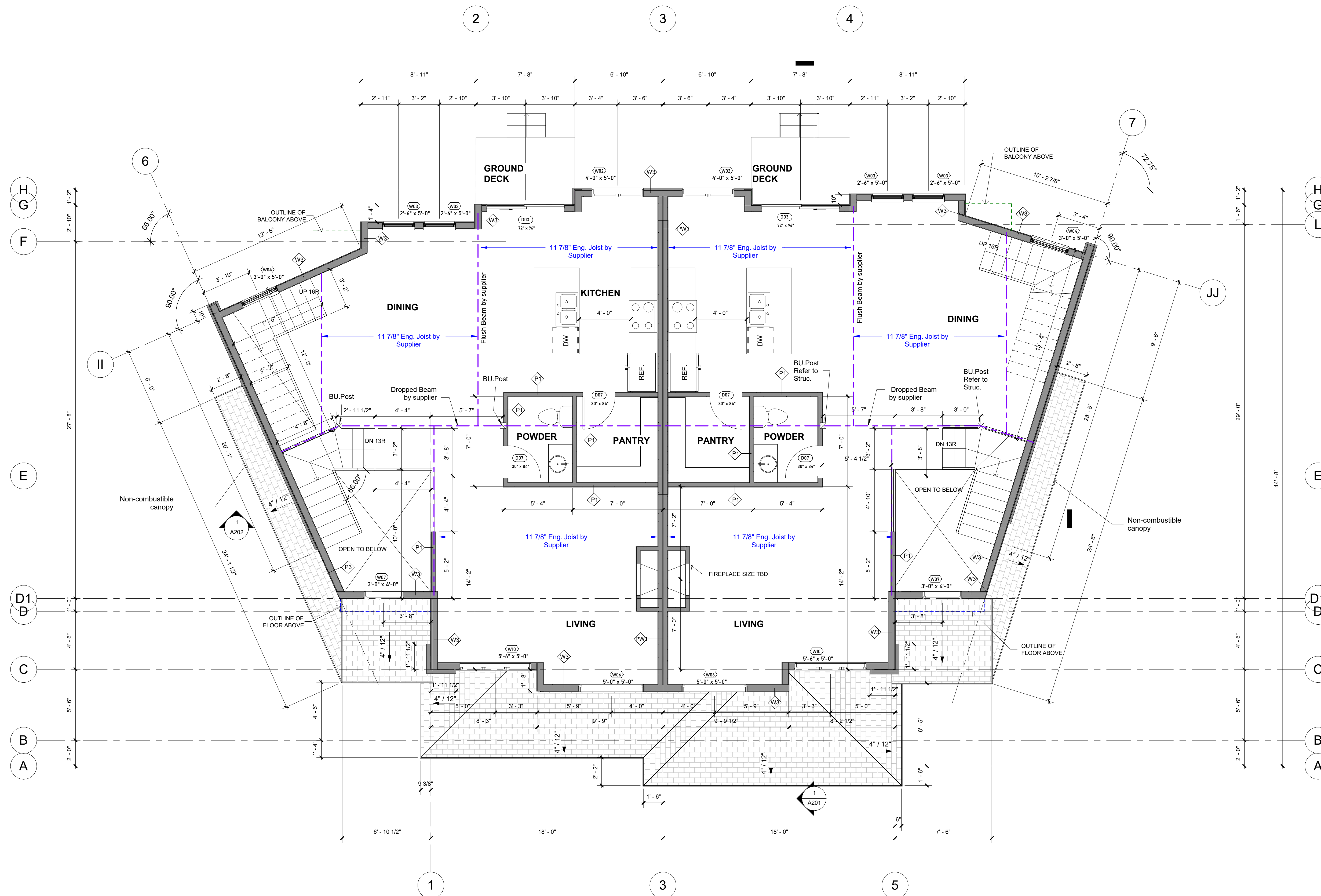
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PROJECT  
**Project Name**  
 1244 & 1246 Baysprings PI SW Airtrie

CLIENT  
 Owner

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| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
| DATE     | 2025-05-03 12:53:02 AM |         |         |

**BASEMENT PLAN**



**1 Main Floor**  
1/4" = 1'-0"

Main Floor Area: UNIT1 999.34 sqf. + UNIT2 1026.81 sqf.  
 Second Floor Area: UNIT1 955.35 sqf. + UNIT2 975.62 sqf.  
 Total Area: UNIT1 1954.69 sqf. + UNIT2 2002.43 sqf.

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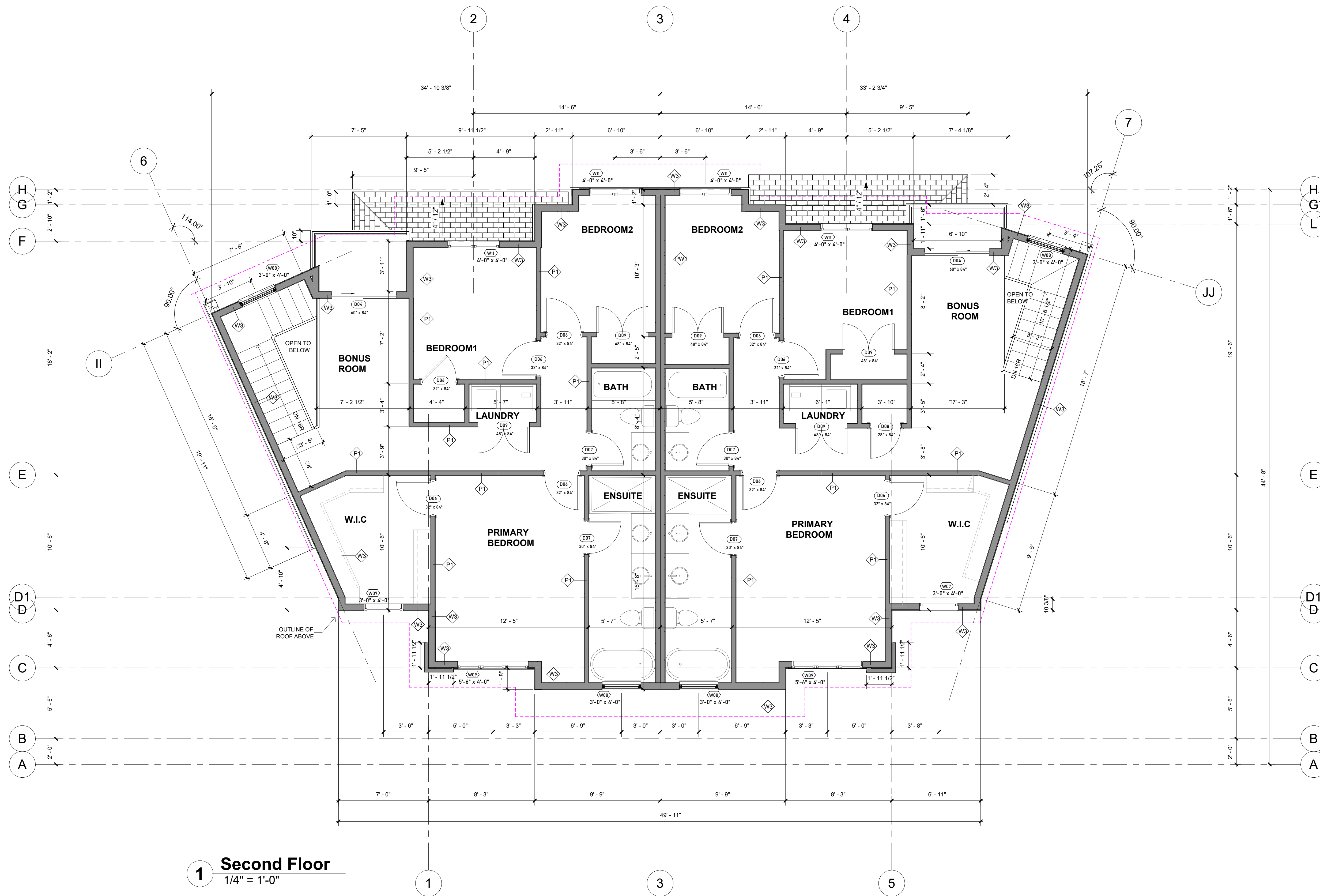
PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airtrie

CLIENT  
 Owner

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| FILE     | Project Number         |         |         |
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**MAIN FLOOR PLAN**  
 A102



**1 Second Floor**  
1/4" = 1'-0"

Main Floor Area: UNIT1 999.34 sqf. + UNIT2 1026.81 sqf.  
 Second Floor Area: UNIT1 955.35 sqf. + UNIT2 975.62 sqf.  
 Total Area: UNIT1 1954.69 sqf. + UNIT2 2002.43 sqf.

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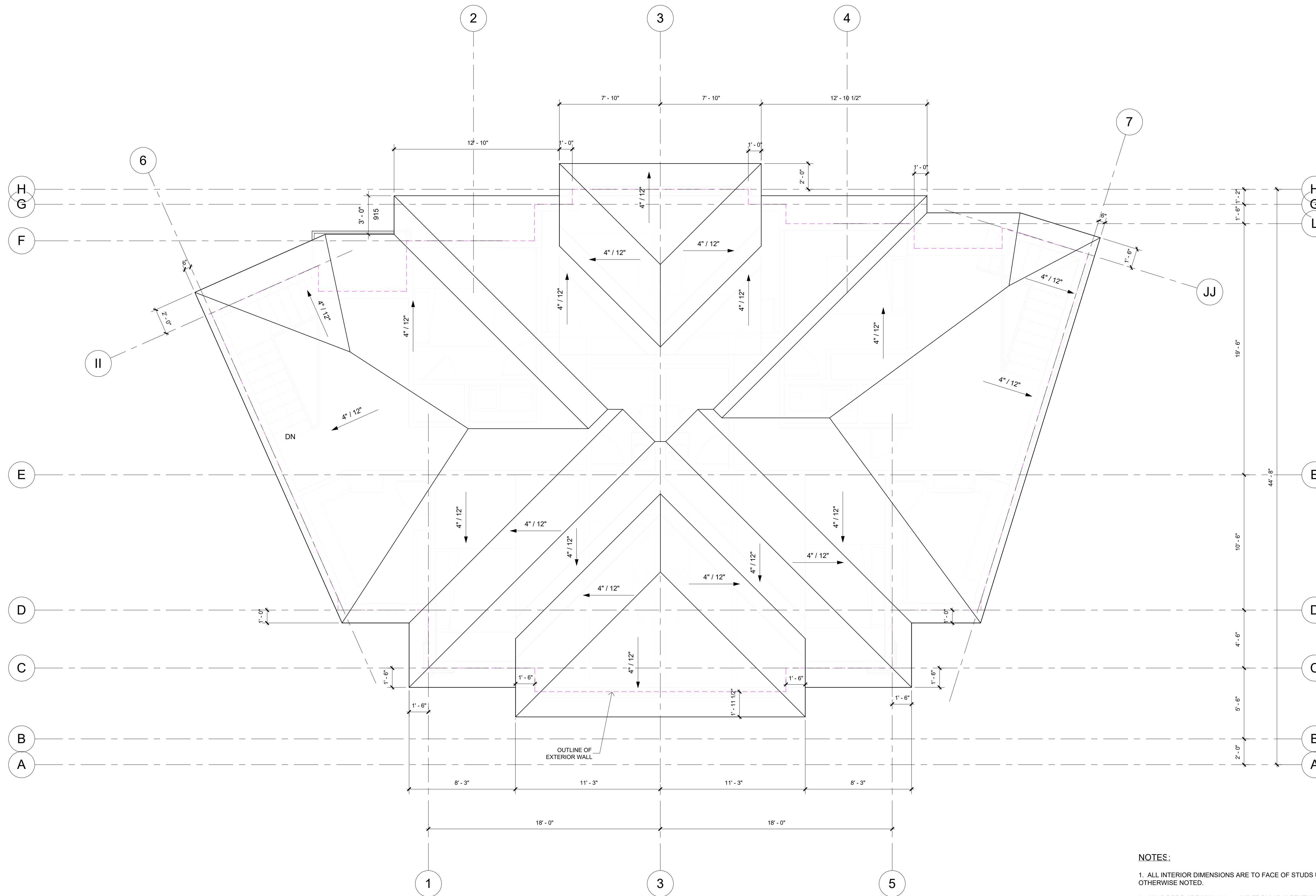
PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airtrie

CLIENT  
 Owner

| PROGRESS | BP                     |
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| SCALE    | 1/4" = 1'-0"           |
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**SECOND FLOOR PLAN**  
 A103



**NOTES:**

1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE MIN. 100mm (4") FROM ADJACENT WALL ON HINGE SIDE UNLESS OTHERWISE NOTED.
3. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF LIGHTING AND ELECTRICAL FIXTURES.
4. PROVIDE WOOD STUD BLOCKING IN STUD SPACE FOR MOUNTING OF ALL WALL-MOUNTED ITEMS AND MILLWORK.
6. REFER TO STRUCTURAL & SHOP DRAWINGS FOR FOUNDATION WALL DEPTHS, FOOTING SIZES, AND PILE/SUPPORT LOCATIONS.
9. PROVIDE ADDITIONAL ROOF VENTING AS REQUIRED IN ACCORDANCE TO NBC-AE 2019. VENTS SHALL COMPLY WITH CAN3-A93-M "Natural Airflow Ventilators for Buildings." REFER TO GENERAL NOTES FOR ADDITIONAL ROOFING NOTES & REQUIREMENTS

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PROJECT  
**Project Name**

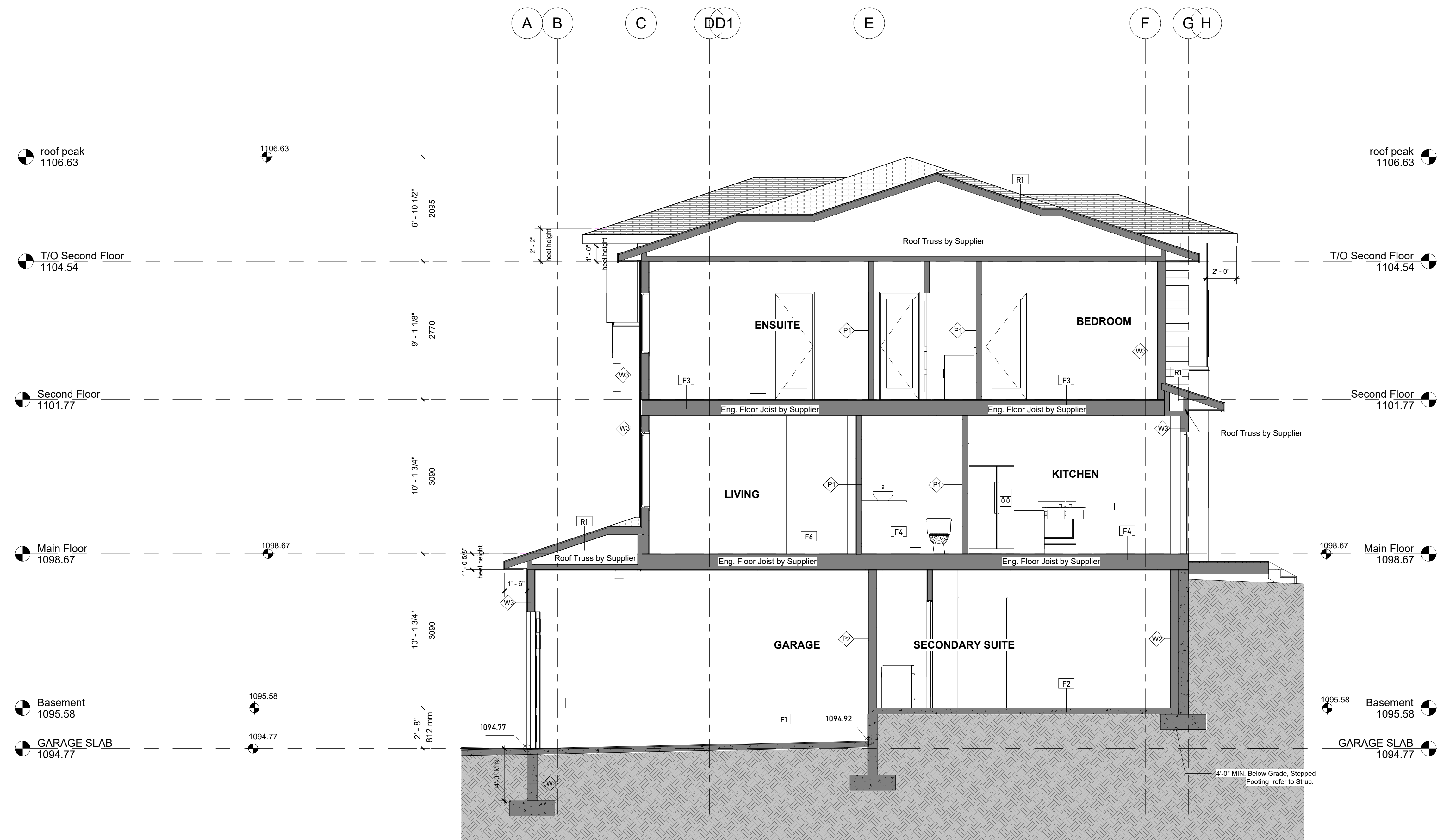
1244 & 1246 Baysprings PI SW Airdrie

CLIENT  
**Owner**

|          |                        |         |         |
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| PROGRESS | BP                     |         |         |
| SCALE    | As indicated           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
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**ROOF PLAN**

**A104**



**1 Section 1**  
1/4" = 1'-0"

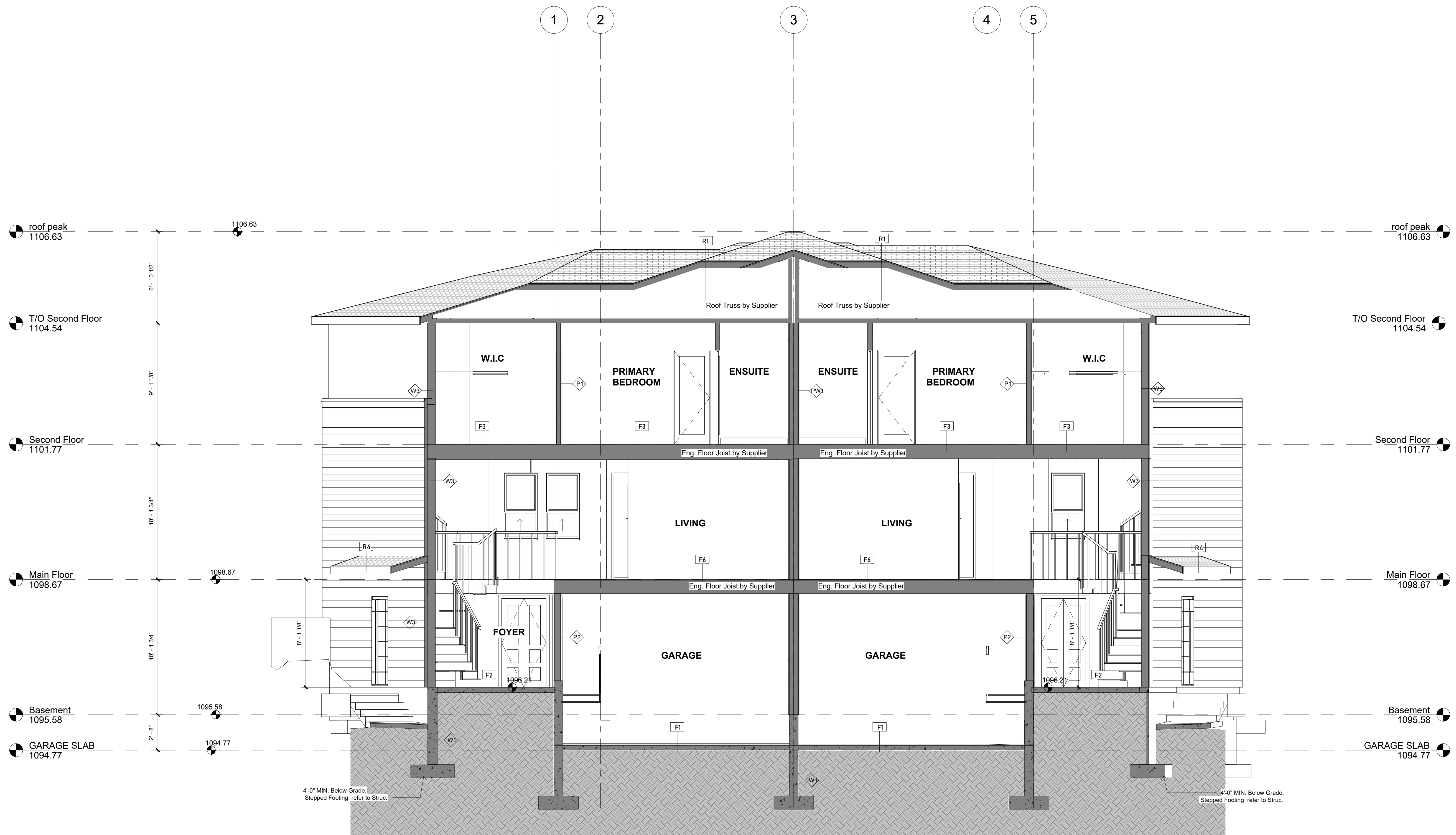
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PROJECT  
**Project Name**  
1244 & 1246 Baysprings PI SW Airrie

CLIENT  
Owner

|          |                        |         |         |
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| PROGRESS | BP                     |         |         |
| SCALE    | 1/4" = 1'-0"           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
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**SECTION 1**  
**A201**



**1 Section 2**  
1/4" = 1'-0"

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PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airrie

CLIENT  
Owner

|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | 1/4" = 1'-0"           |         |         |
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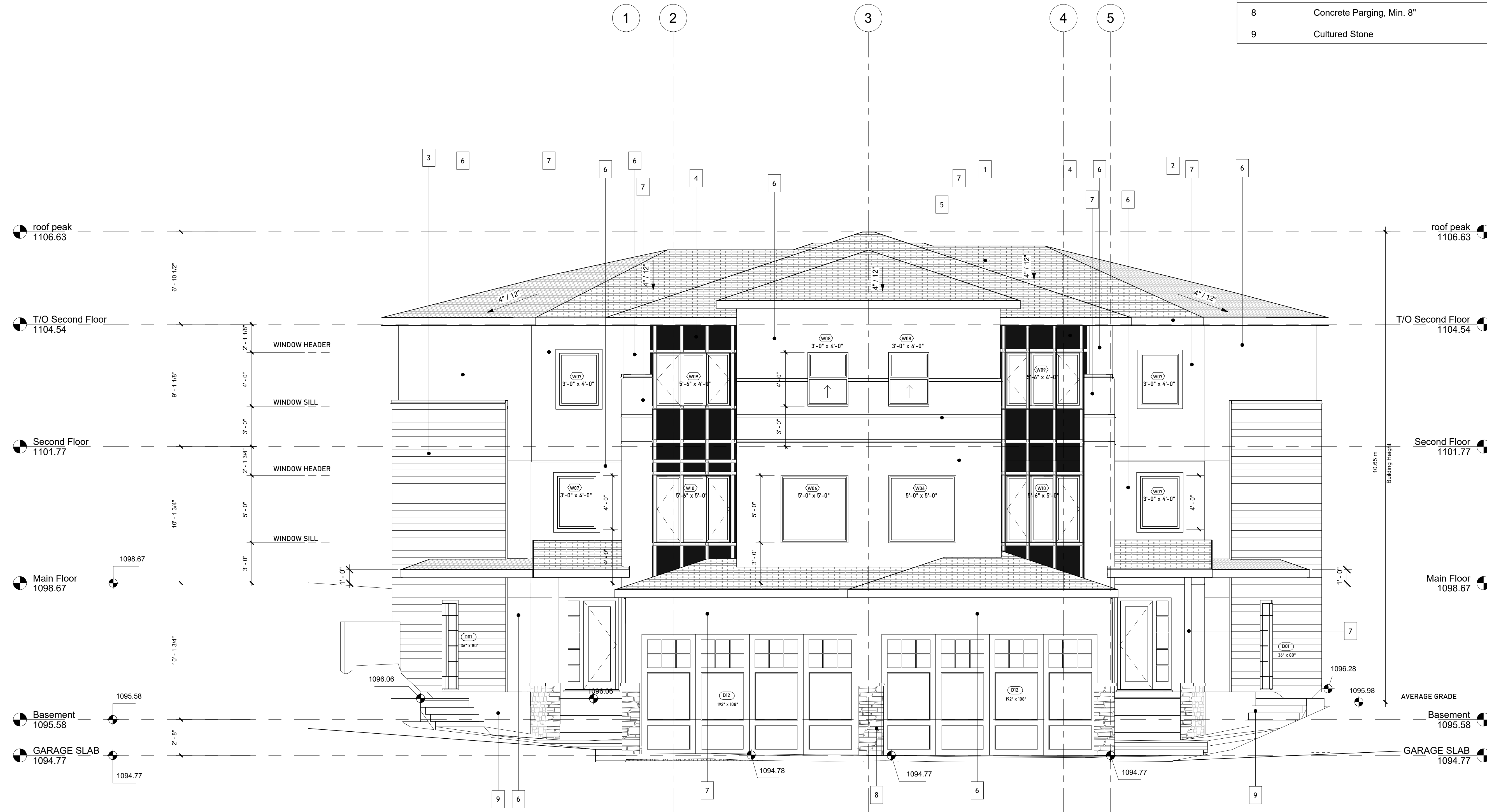
SECTION 2

A202



**EXTERIOR FINISH LEGEND**

| TAG | DESCRIPTION                            |
|-----|--|
| 1   | Asphalt Shingle Roofing, Dark Grey     |
| 2   | Smartboard Fascia, Grey                |
| 3   | Hardie Siding Horizontal, wood texture |
| 4   | Hardie Board & Batten, Dark Grey       |
| 5   | Smartboard Panel, Off-White            |
| 6   | Hardie Board Smooth, Grey              |
| 7   | Hardie Board Smooth, White             |
| 8   | Concrete Parging, Min. 8"              |
| 9   | Cultured Stone                         |



**1 East Elevation**  
1/4" = 1'-0"

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |

PROJECT  
**Project Name**  
1244 & 1246 Baysprings PI SW Airrie

CLIENT  
**Owner**

|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | 1/4" = 1'-0"           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
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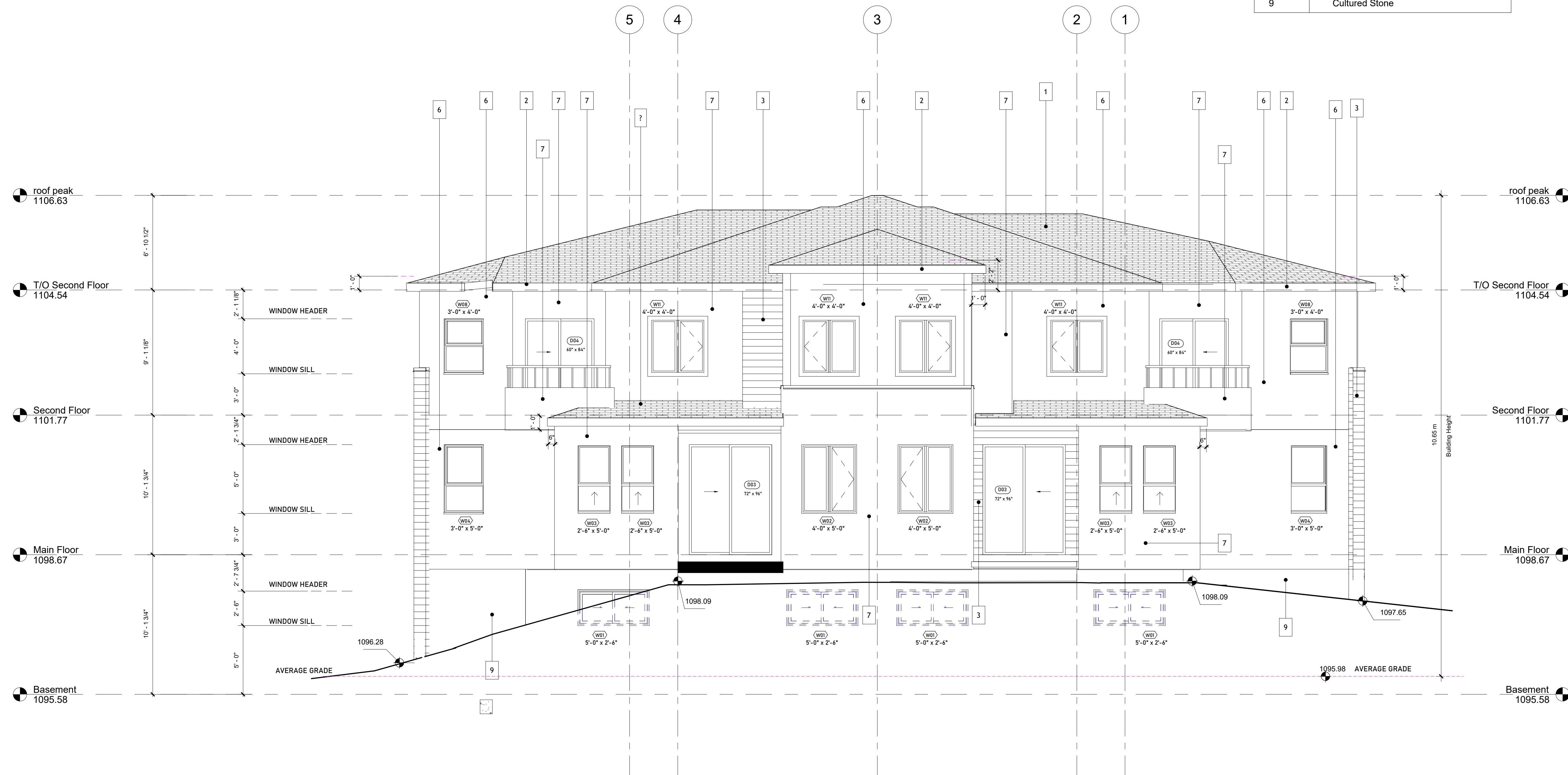
**FRONT ELEVATION**  
**A301**



**EXTERIOR FINISH LEGEND**

| TAG | DESCRIPTION                            |
|-----|--|
| 1   | Asphalt Shingle Roofing, Dark Grey     |
| 2   | Smartboard Fascia, Grey                |
| 3   | Hardie Siding Horizontal, wood texture |
| 4   | Hardie Board & Batten, Dark Grey       |
| 5   | Smartboard Panel, Off-White            |
| 6   | Hardie Board Smooth, Grey              |
| 7   | Hardie Board Smooth, White             |
| 8   | Concrete Parging, Min. 8"              |
| 9   | Cultured Stone                         |

| DATE | No. | REVISION | BY |
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**1 West Elevation**  
1/4" = 1'-0"

PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airrie

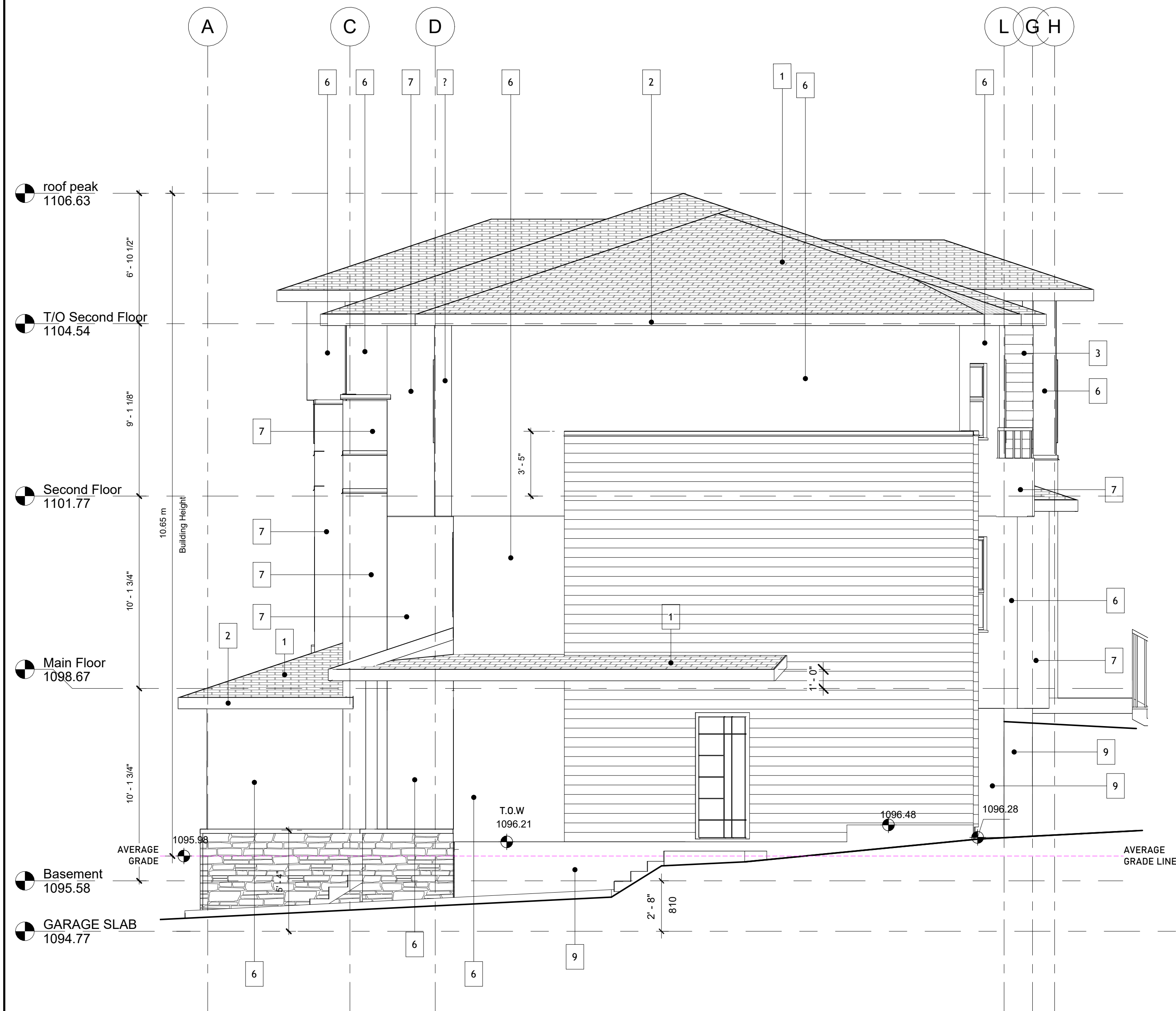
CLIENT  
**Owner**

|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | 1/4" = 1'-0"           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
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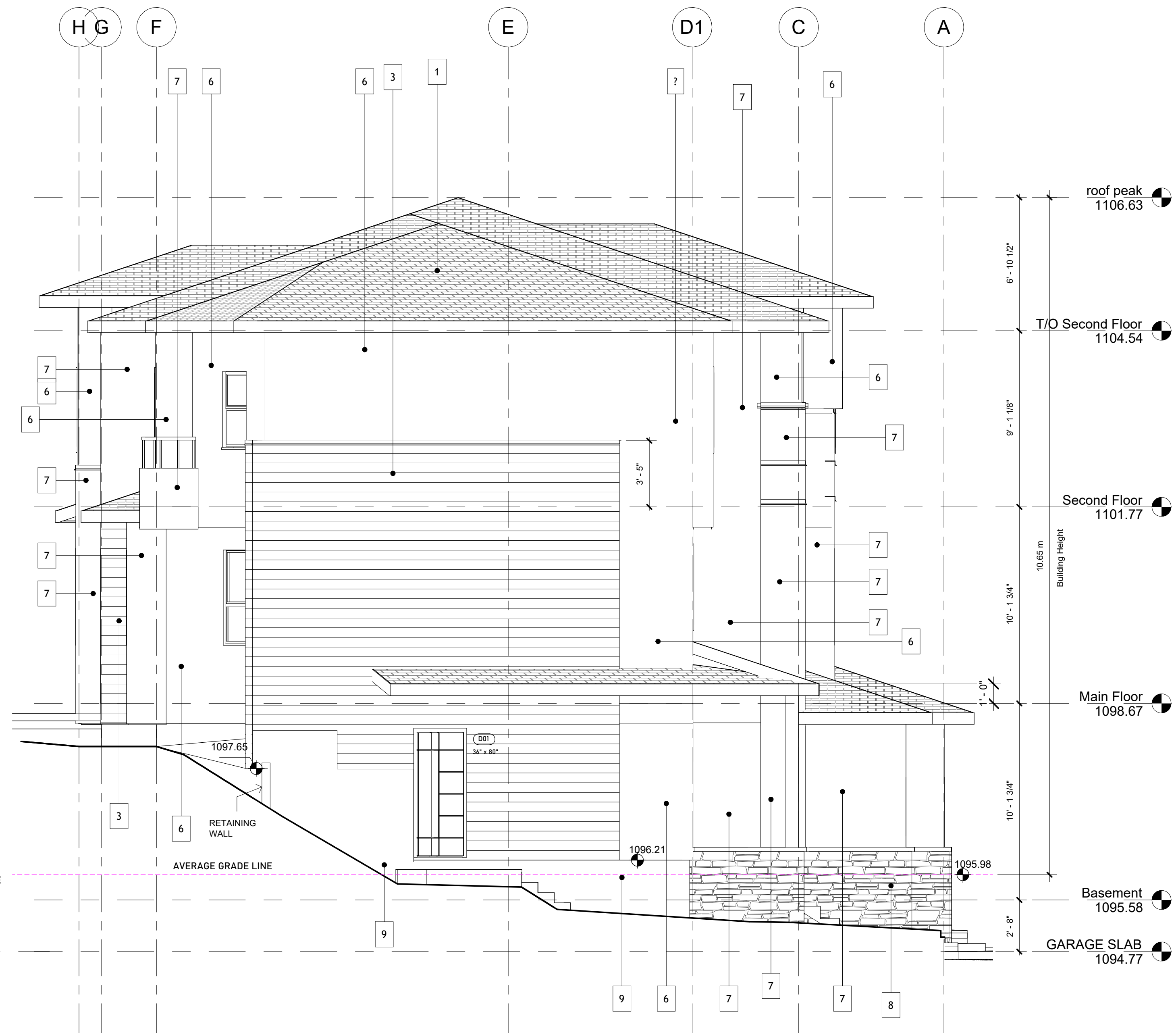
**BACK ELEVATION**  
**A302**

**EXTERIOR FINISH LEGEND**

| TAG | DESCRIPTION                            |
|-----|--|
| 1   | Asphalt Shingle Roofing, Dark Grey     |
| 2   | Smartboard Fascia, Grey                |
| 3   | Hardie Siding Horizontal, wood texture |
| 4   | Hardie Board & Batten, Dark Grey       |
| 5   | Smartboard Panel, Off-White            |
| 6   | Hardie Board Smooth, Grey              |
| 7   | Hardie Board Smooth, White             |
| 8   | Concrete Parging, Min. 8"              |
| 9   | Cultured Stone                         |



**1 North Elevation**  
1/4" = 1'-0"



**2 South Elevation**  
1/4" = 1'-0"

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |

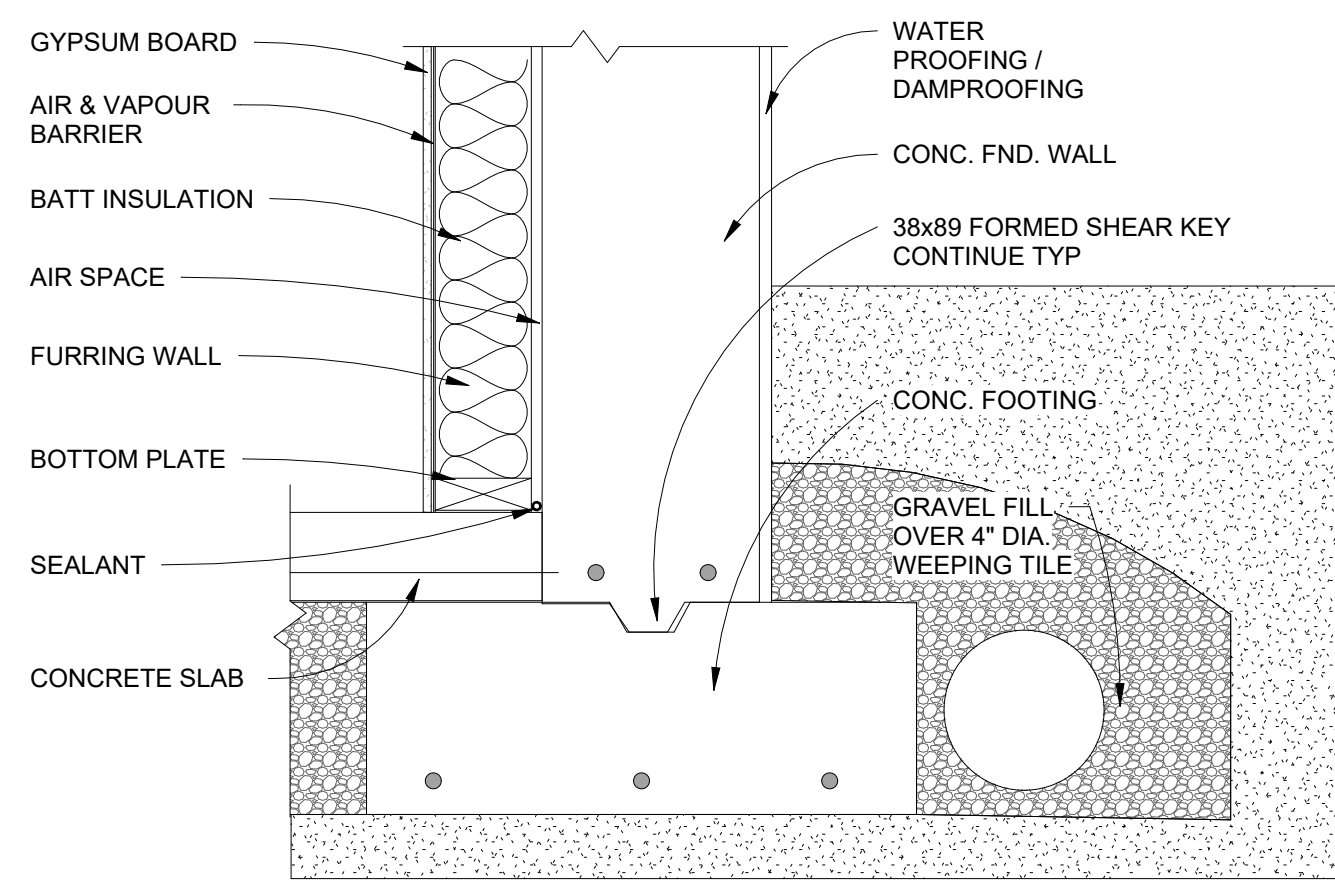
PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airrie

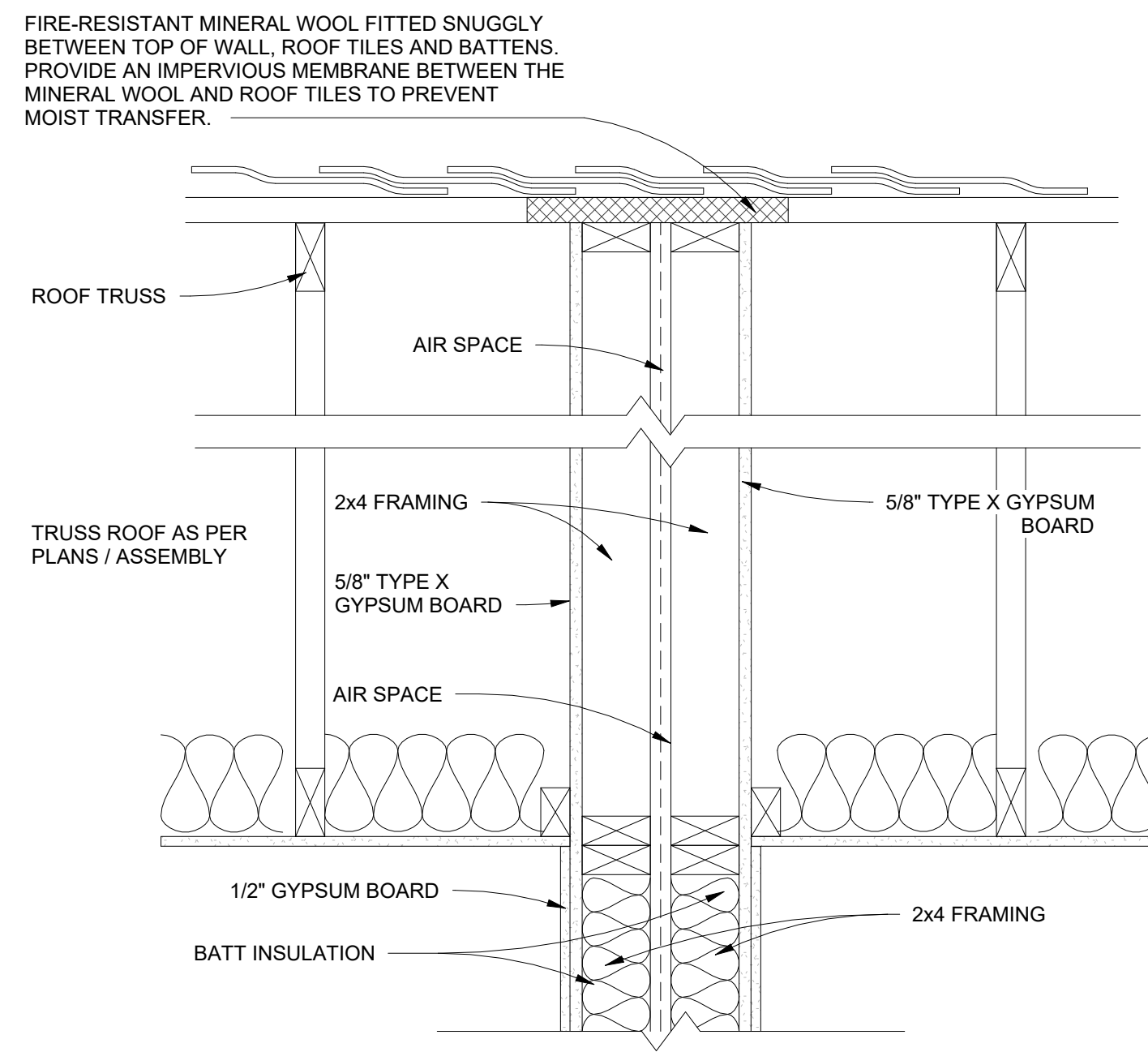
CLIENT  
**Owner**

|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | 1/4" = 1'-0"           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
| DATE     | 2025-05-03 12:53:25 AM |         |         |

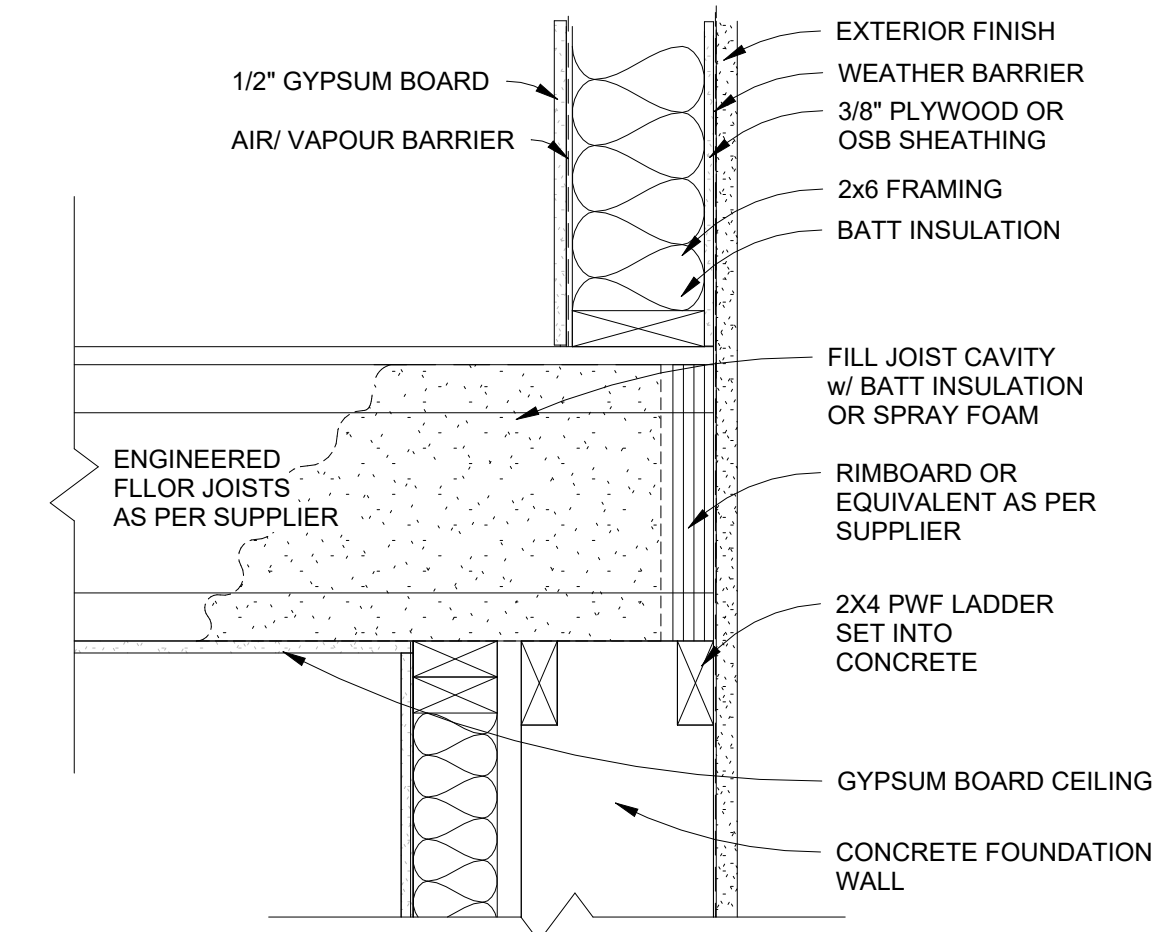
**SIDE ELEVATIONS**  
A303



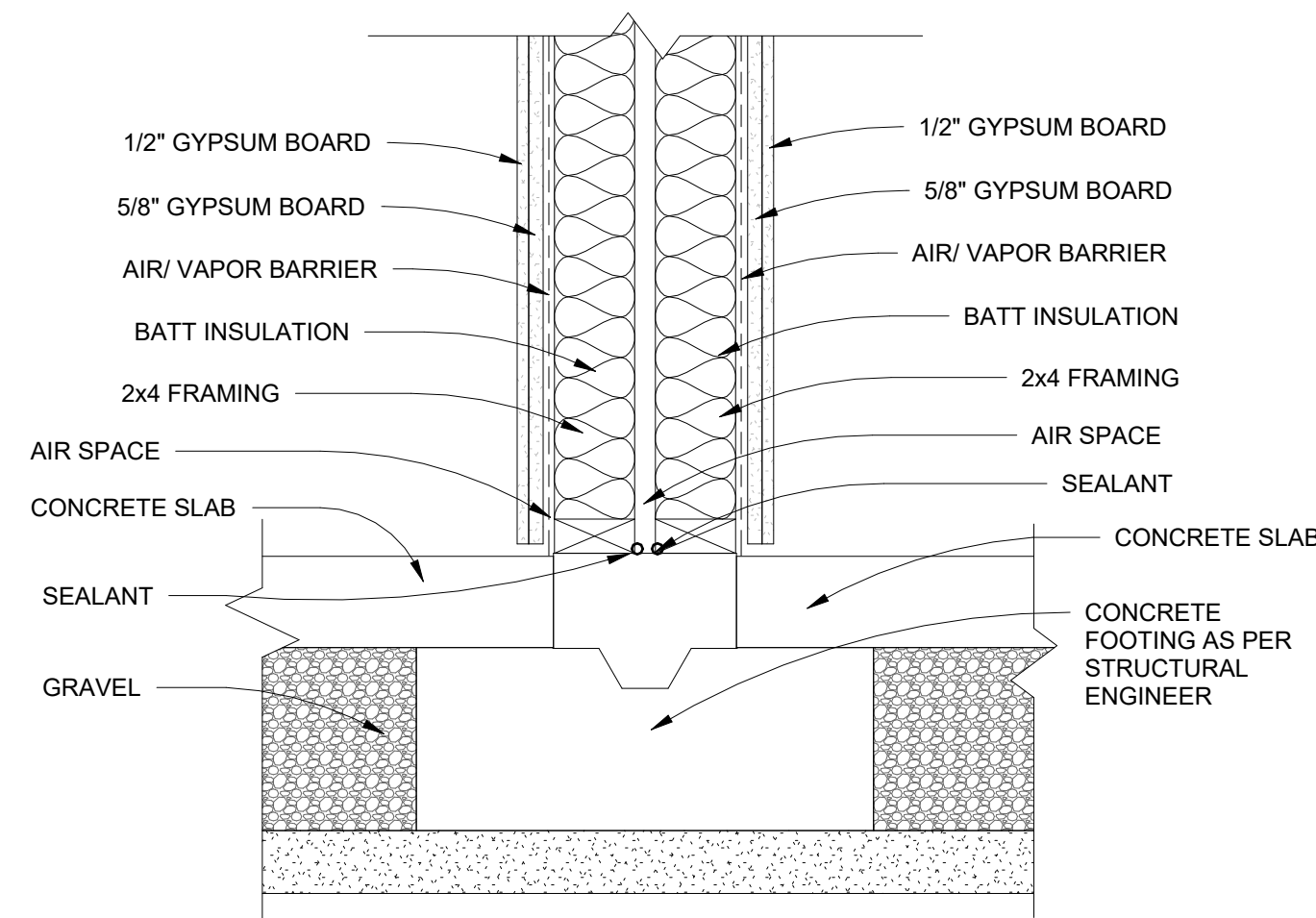
**1 Concrete Footing Detail**  
1" = 1'-0"



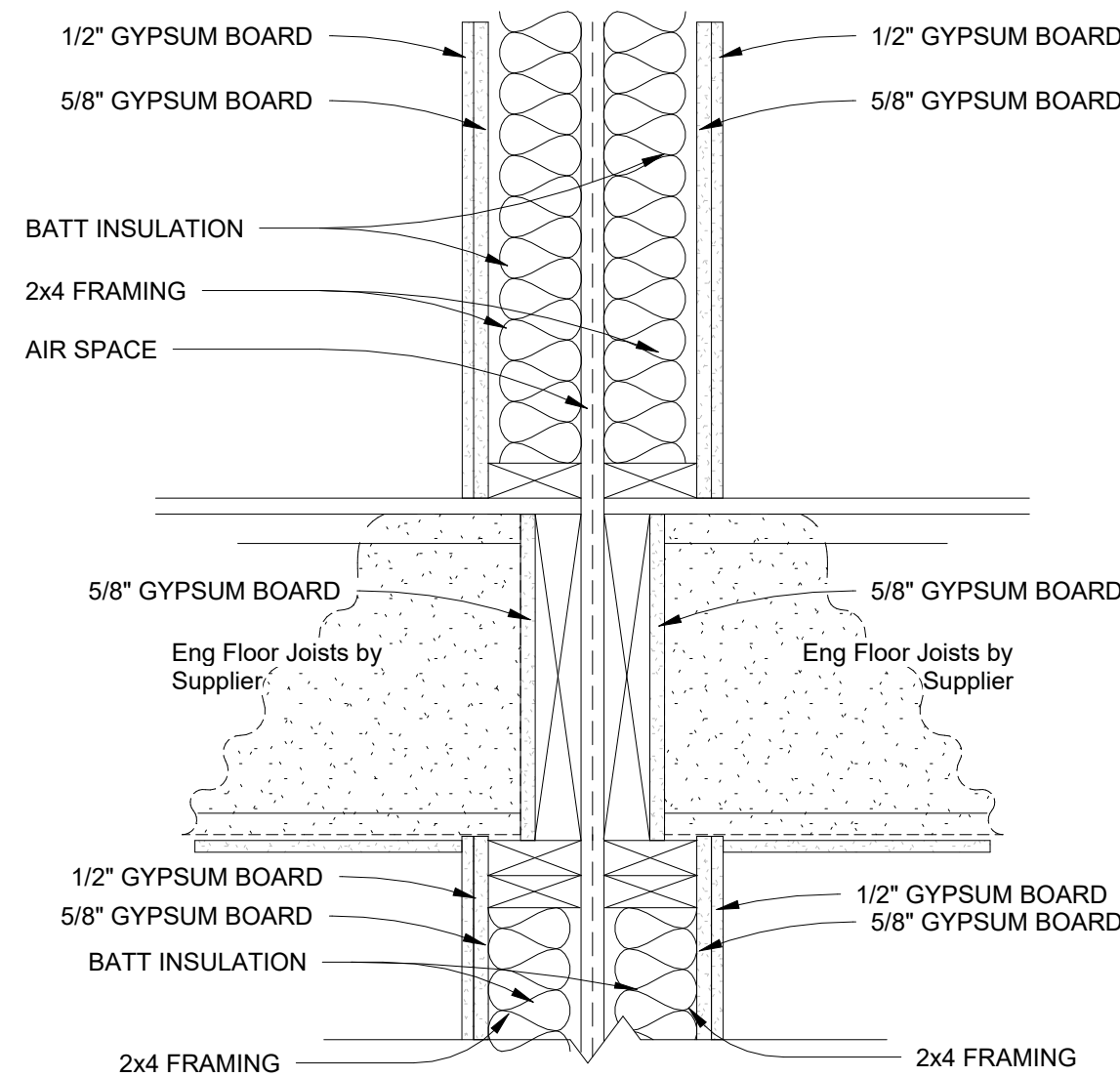
**3 Party Wall at Roof Truss**  
1 1/2" = 1'-0"



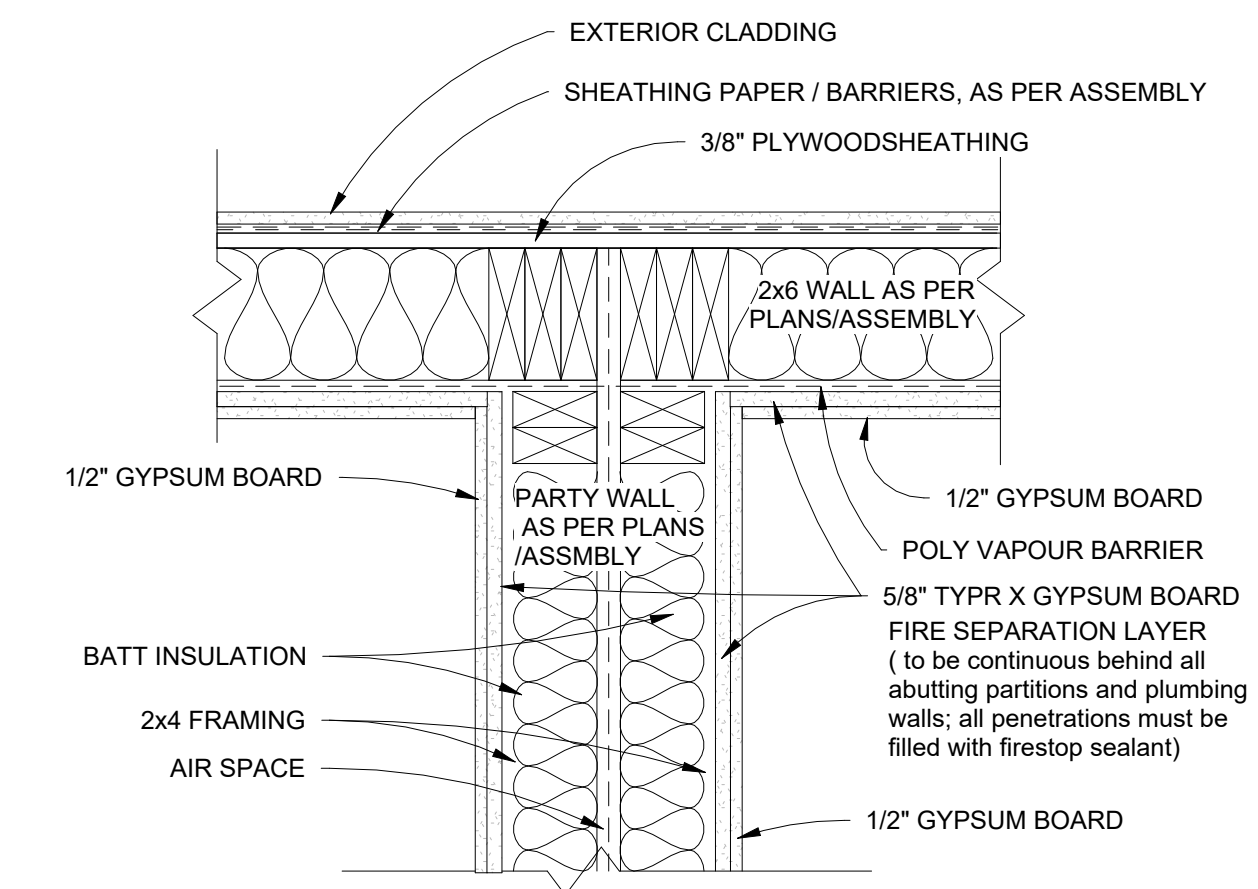
**5 Floor Joist at Basement - Perpendicular**  
1 1/2" = 1'-0"



**2 Party Wall at Concrete Slab**  
1 1/2" = 1'-0"



**4 Party Wall at Joists**  
1 1/2" = 1'-0"



**6 Party Wall at Exterior Wall (1hr FRR) - Plan Detail**  
1 1/2" = 1'-0"

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |

PROJECT  
**Project Name**

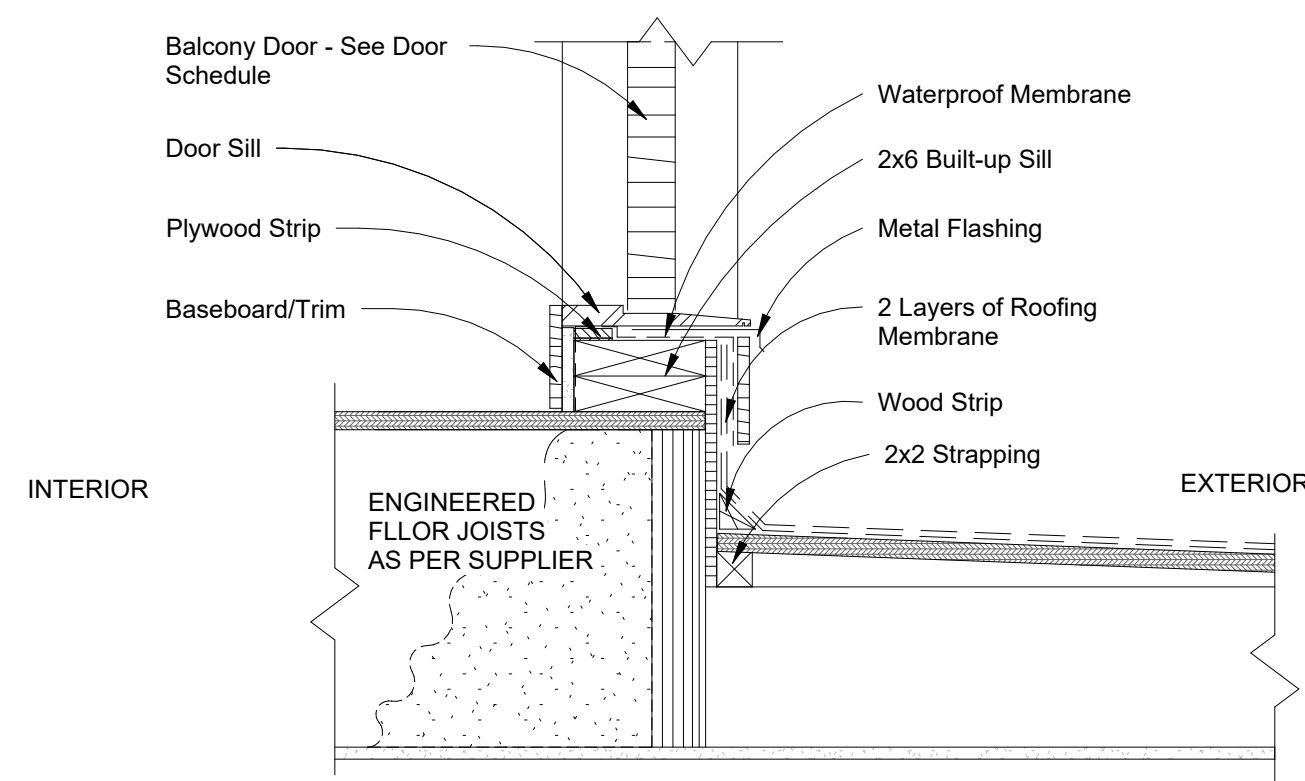
1244 & 1246 Baysprings PI SW Airrie

CLIENT  
Owner

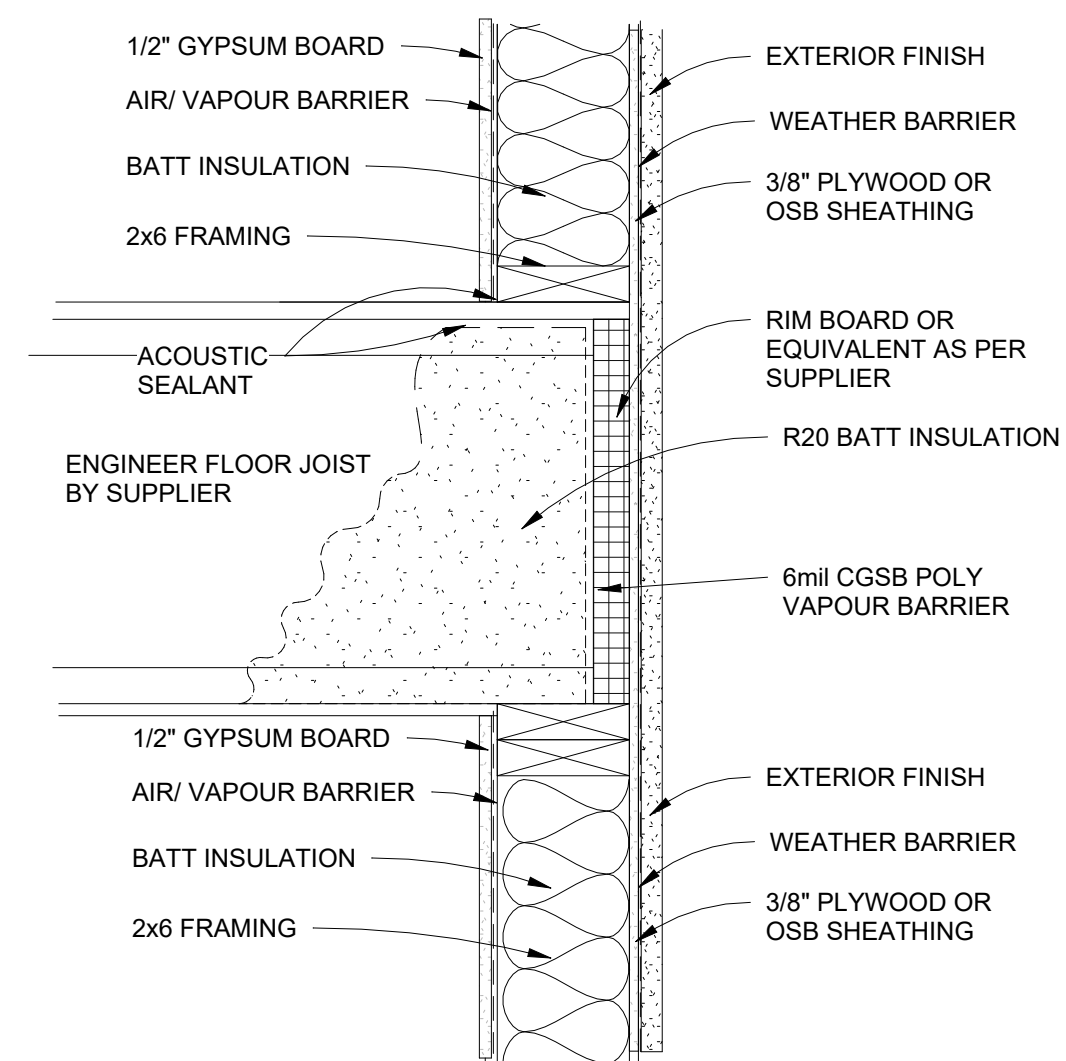
|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | As indicated           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
| DATE     | 2025-05-03 12:53:27 AM |         |         |

Details 1

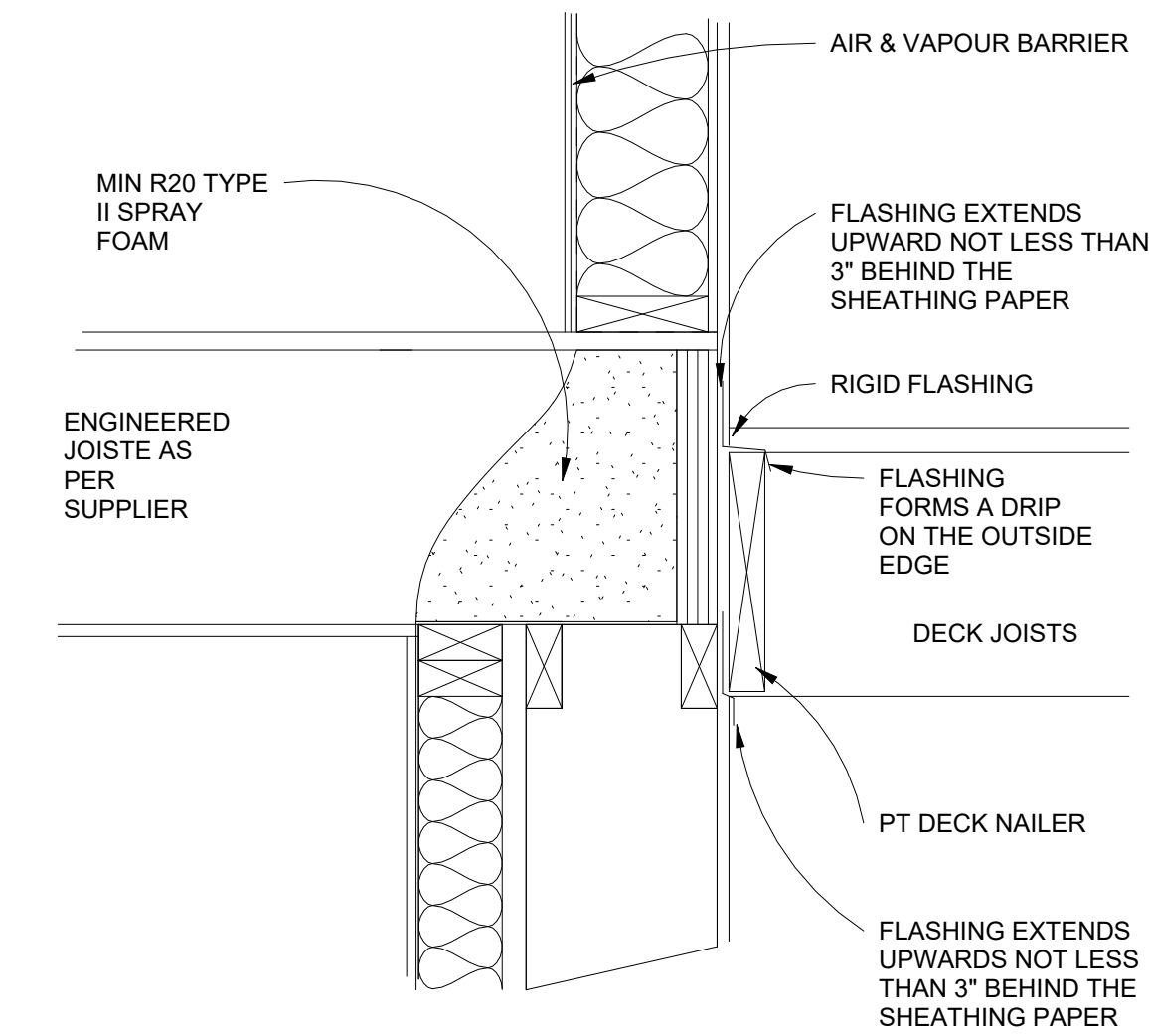
A401



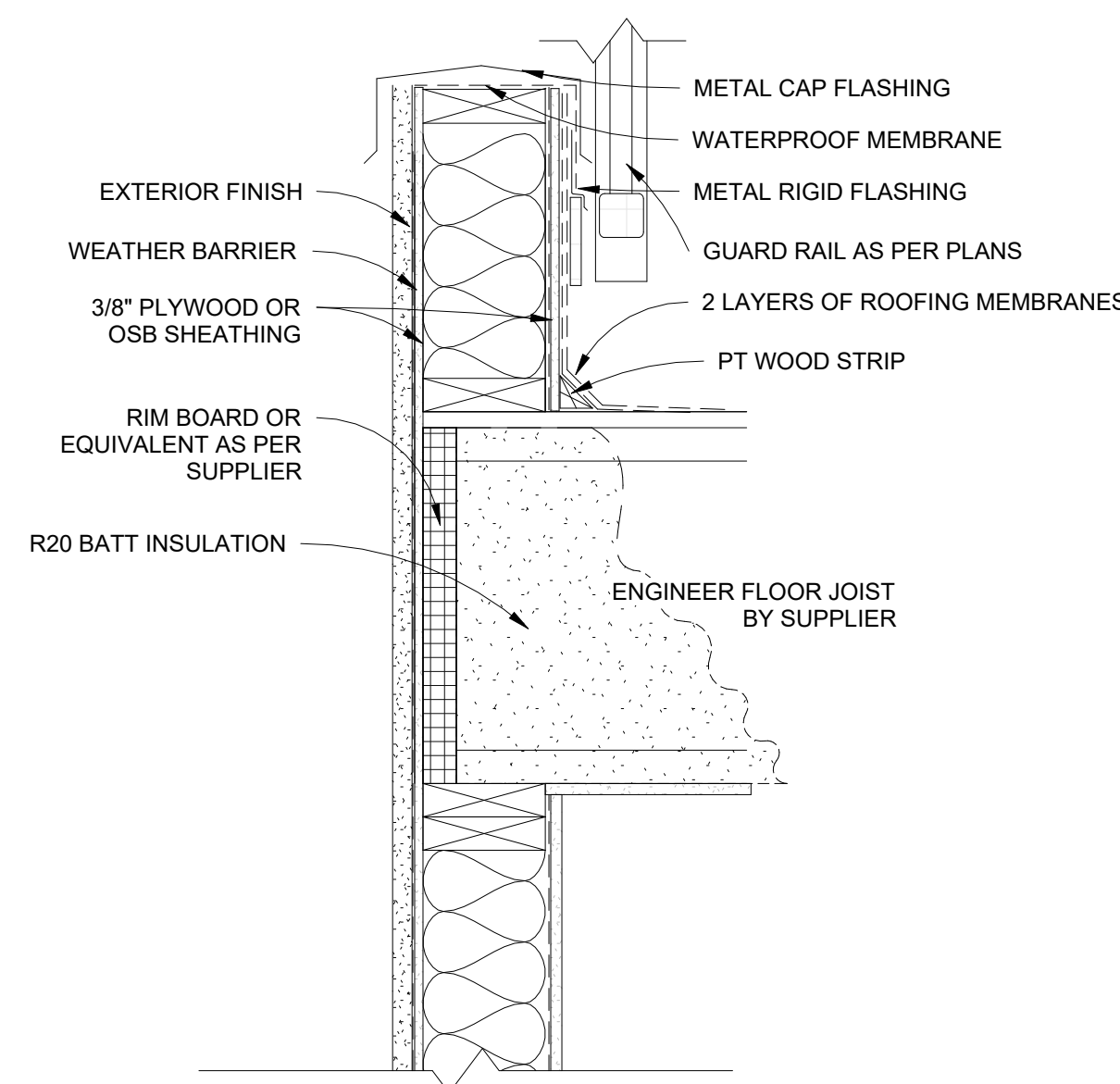
**1 Balcony/ Roof Membrane at Floor**  
1 1/2" = 1'-0"



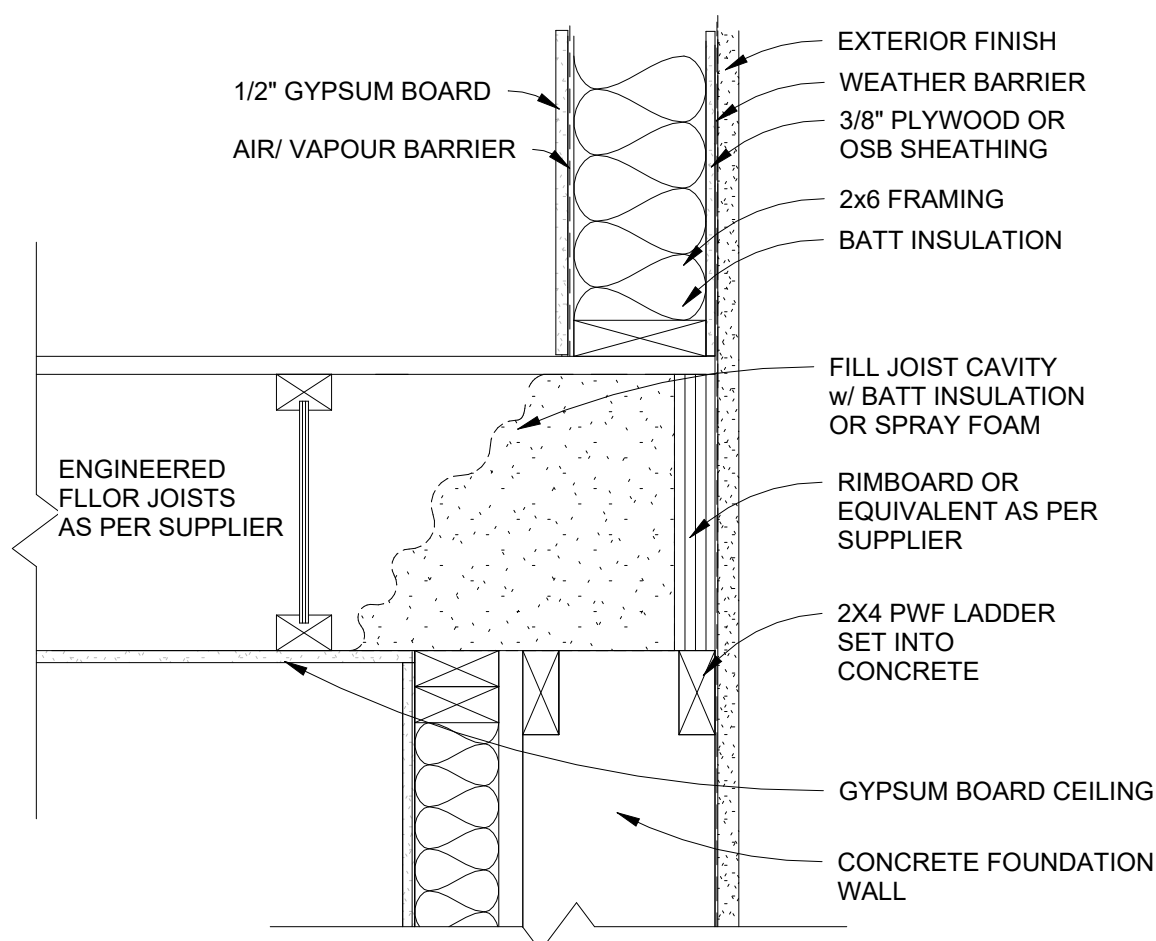
**4 Floor Joist at Wall Connection**  
1 1/2" = 1'-0"



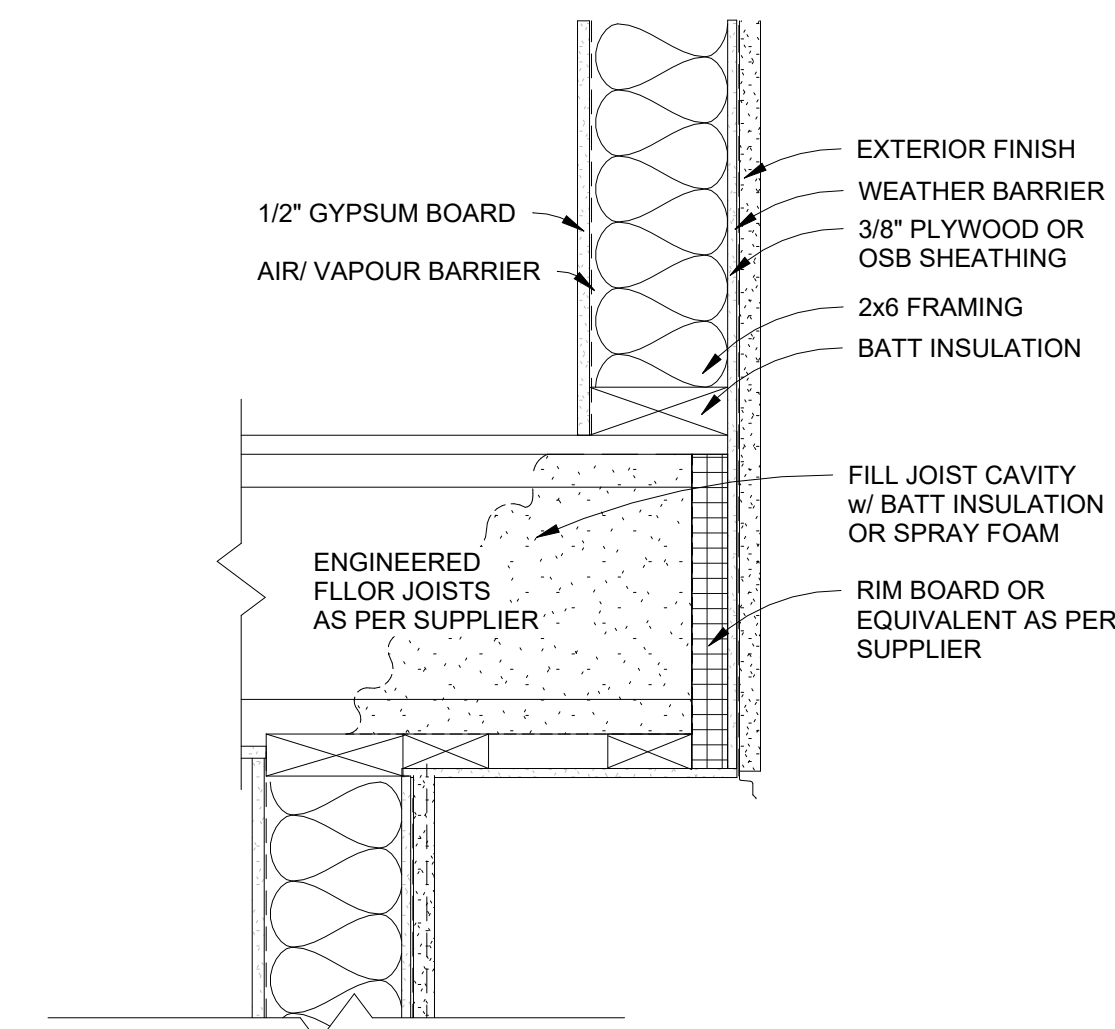
**7 Deck Nailer Flashing**  
1 1/2" = 1'-0"



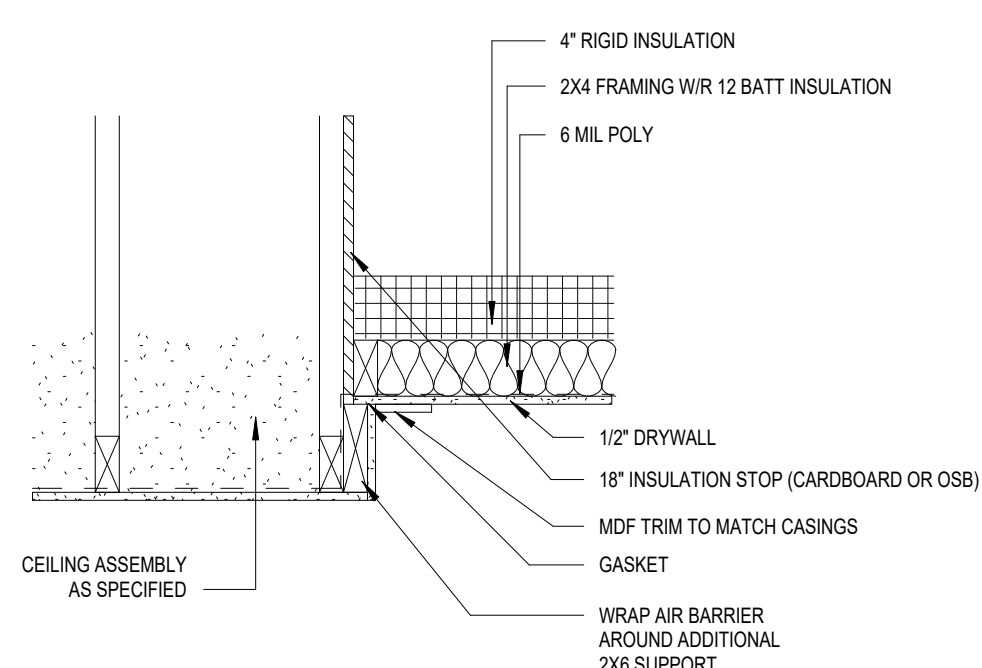
**2 Balcony Wall with Rail**  
1 1/2" = 1'-0"



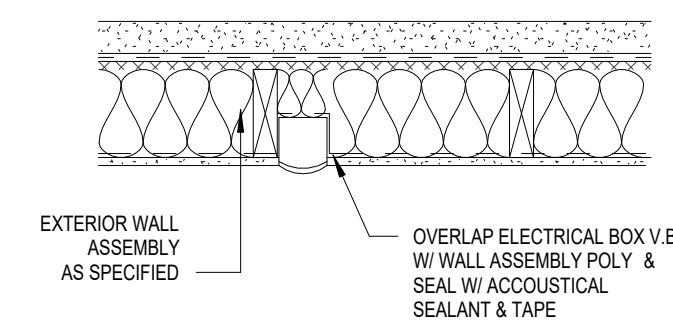
**5 Floor Joist at Basement -Parallel**  
1 1/2" = 1'-0"



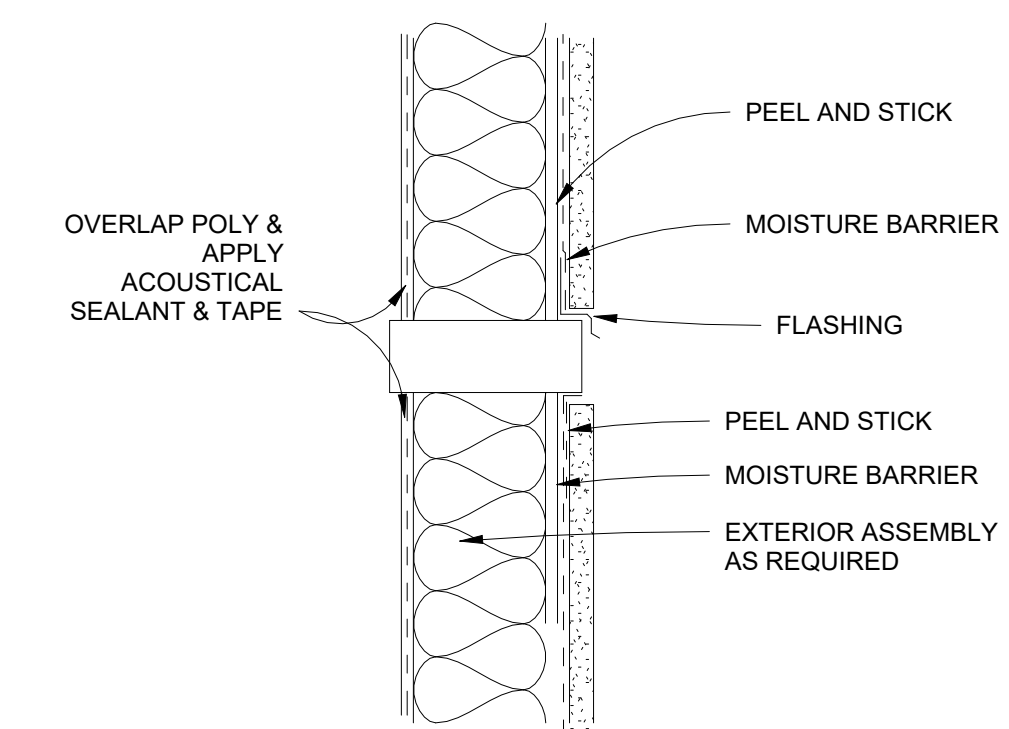
**8 Cantilever Detail**  
1 1/2" = 1'-0"



**3 Typical Attic Hatch**  
1" = 1'-0"



**6 Typical Outlet Detail**  
1" = 1'-0"



**9 Penetration Through Wall**  
1 1/2" = 1'-0"

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |

PROJECT  
**Project Name**

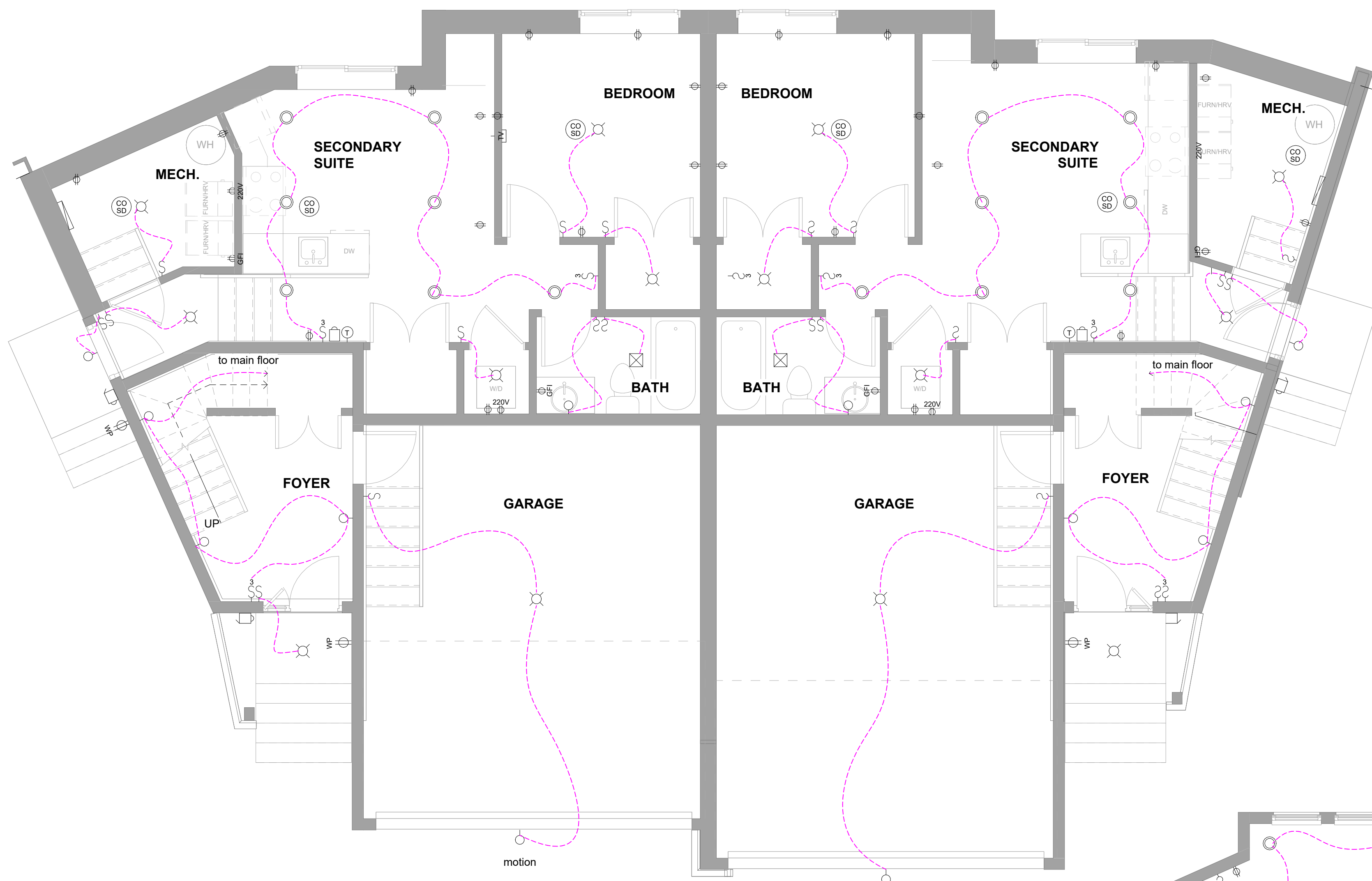
1244 & 1246 Baysprings PI SW Airrie

CLIENT  
**Owner**

|          |                        |         |         |
|----------|------------------------|---------|---------|
| PROGRESS | BP                     |         |         |
| SCALE    | As indicated           |         |         |
| DRAWN    | Author                 | CHECKED | Checker |
| FILE     | Project Number         |         |         |
| DATE     | 2025-05-03 12:53:29 AM |         |         |

Details 2

A402



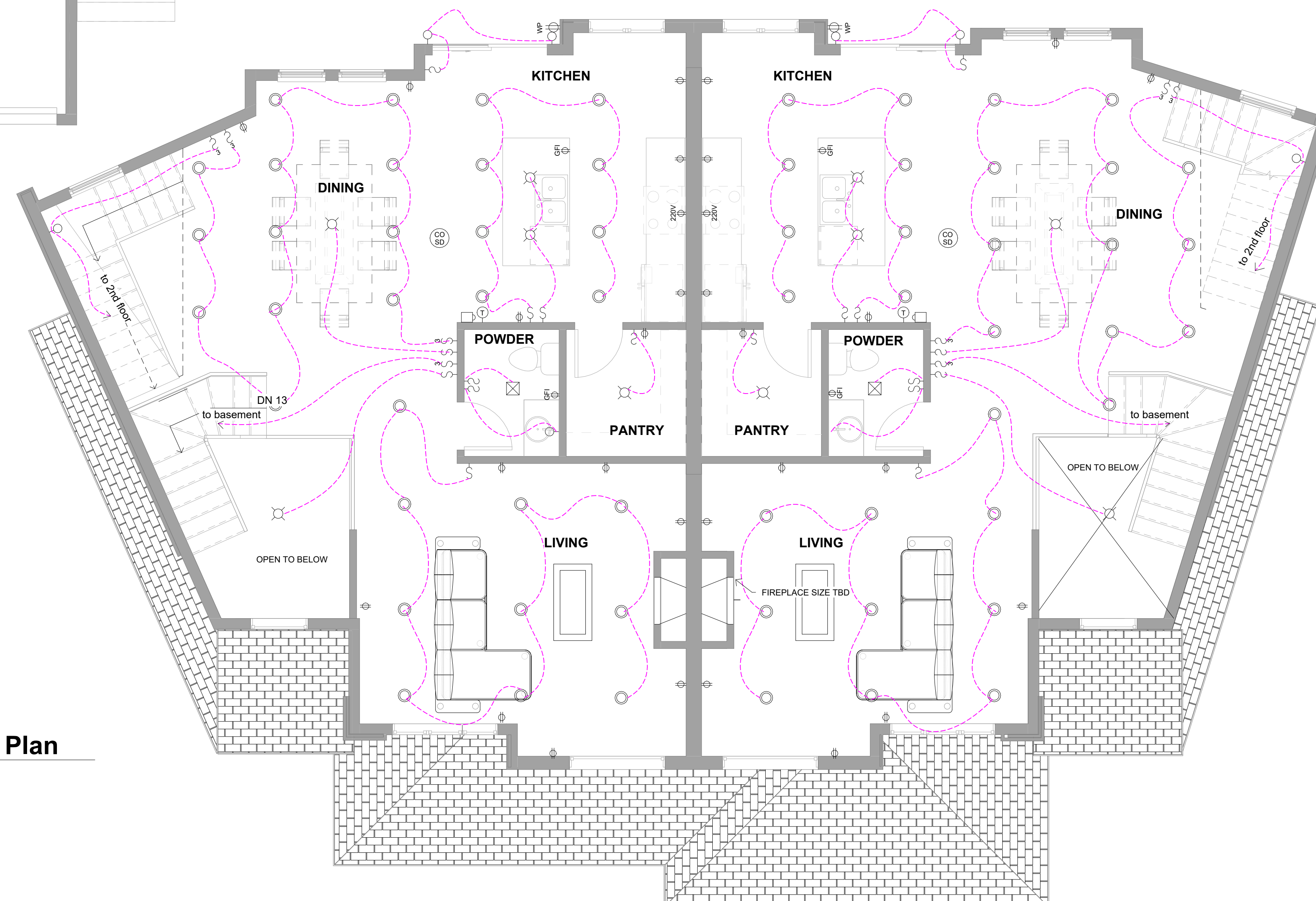
**1 Basement Electrical Plan**  
1/4" = 1'-0"

| ELECTRICAL LEGEND |                                     |
|-------------------|-------------------------------------|
| SYM               | DESCRIPTION                         |
| ⊕                 | OUTLET                              |
| ⊕GFI              | GROUND FAULT OUTLET                 |
| ⊕WP               | WATER PROOF OUTLET                  |
| ⊕220V             | 220 VOLT OUTLET                     |
| ⊕R1A500           | ROUGH-IN GARAGE DOOR OPENER         |
| ⊕                 | SWITCH                              |
| ⊕3                | 3-WAY SWITCH                        |
| ⊕4                | 4-WAY SWITCH                        |
| ⊕                 | CEILING MOUNTED LIGHT               |
| ⊕                 | RECESSED LIGHT                      |
| ⊕                 | WALL MOUNTED LIGHT                  |
| ⊕                 | DOOR CHIME SWITCH (BUTTON)          |
| ⊕                 | DOOR CHIMEE                         |
| ⊕                 | CO/ SMOKE DETECTOR                  |
| ⊕                 | EXHAUST FAN                         |
| ⊕                 | TV OUTLET WITH 2 CAT-6              |
| ⊕                 | ELECTRICAL PANEL (CONFIRM LOCATION) |

**GENERAL NOTES**

- All cable, TV & internet, outlet to be located at the time of Rough in as per builder's SPEC.
- Outlets in party wall may not share the same stud space.

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |



**2 Main Floor Electrical Plan**  
1/4" = 1'-0"

PROJECT  
**Project Name**

1244 & 1246 Baysprings PI SW Airrie

CLIENT  
**Owner**

|          |                        |
|----------|------------------------|
| PROGRESS | BP                     |
| SCALE    | As indicated           |
| DRAWN    | Author                 |
| CHECKED  | Checker                |
| FILE     | Project Number         |
| DATE     | 2025-05-03 12:53:31 AM |

**ELECTRICAL PLANS 1**  
**E01**



| ELECTRICAL LEGEND |                                     |
|-------------------|-------------------------------------|
| SYM               | DESCRIPTION                         |
| ○                 | OUTLET                              |
| ⊕GFI              | GROUND FAULT OUTLET                 |
| ⊕WP               | WATER PROOF OUTLET                  |
| ⊕220V             | 220 VOLT OUTLET                     |
| ⊕GDO              | ROUGH-IN GARAGE DOOR OPENER         |
| ⊕                 | SWITCH                              |
| ⊕/⊕               | 3-WAY SWITCH                        |
| ⊕/⊕/⊕             | 4-WAY SWITCH                        |
| ⊕                 | CEILING MOUNTED LIGHT               |
| ○                 | RECESSED LIGHT                      |
| ⊕                 | WALL MOUNTED LIGHT                  |
| ⊕                 | DOOR CHIME SWITCH (BUTTON)          |
| ⊕                 | DOOR CHIME                          |
| ⊕                 | COI SMOKE DETECTOR                  |
| ⊕                 | EXHAUST FAN                         |
| ⊕                 | TV OUTLET WITH 2 CAT-6              |
| ⊕                 | ELECTRICAL PANEL (CONFIRM LOCATION) |

**GENERAL NOTES**

- All cable, TV & internet, outlet to be located at the time of Rough in as per builder's SPEC.
- Outlets in party wall may not share the same stud space.

| DATE | No. | REVISION | BY |
|------|-----|----------|----|
|      |     |          |    |

**1 Second Floor Electrical Plan**  
1/4" = 1'-0"

PROJECT  
**Project Name**  
1244 & 1246 Baysprings PI SW Airtrie

CLIENT  
Owner

|          |                        |
|----------|------------------------|
| PROGRESS | BP                     |
| SCALE    | As indicated           |
| DRAWN    | Author                 |
| FILE     | Project Number         |
| DATE     | 2025-05-03 12:53:32 AM |

**ELECTRICAL PLANS 2**  
E02